

PER CITY OF SAN DIEGO MUNICIPAL CODE SECTIONS 12.0104, 43.010, 12.0104(a)(4), AND 142.0220, PERMITS ARE REQUIRED TO BE INSPECTED BY CITY INSPECTION STAFF TO ENSURE COMPLIANCE WITH ISSUED CONSTRUCTION PERMIT. THIS INCLUDES, BUT NOT LIMITED TO, STORMWATER COMPLIANCE INSPECTION REQUIREMENTS ASSOCIATED WITH EACH PERMIT.

NO WORK WILL BE PERFORMED IN THE RIGHT-OF-WAY.

NO PROPOSED IMPROVEMENTS TO THE SEWER LATERAL.

ALL STORM WATER RUNOFF FROM PROPOSED AND/OR REPLACED IMPERVIOUS AREAS SHALL BE ROUTED TO PERVIOUS SURFACES OR LANDSCAPING PRIOR TO REACHING THE PUBLIC DRAIN SYSTEM.

PER SDMC 141.0302(b)(1)(B), AN ADU OR JADU SHALL NOT BE USED FOR A RENTAL TERM OF LESS THAN 31 CONSECUTIVE DAYS.

PER SDMC 141.0302(b)(1)(B), AN ADU MAY NOT BE SOLD OR CONVEYED SEPARATELY FROM THE PRIMARY DWELLING UNIT.

NO TRANSIT STOPS.

PLEASE PROVIDE DRAFT FINDINGS FOR A CDP PER §126.0100(A).
 (1) THE PROPOSED COASTAL DEVELOPMENT WILL NOT ENCRoACH UPON ANY EXISTING PHYSICAL ACCESSWAY THAT IS LEGALLY USED BY THE PUBLIC OR ANY PROPOSED PUBLIC ACCESSWAY IDENTIFIED IN A LOCAL COASTAL PROGRAM LAND USE PLAN, AND THE PROPOSED COASTAL DEVELOPMENT WILL ENHANCE AND PROTECT PUBLIC VIEWS TO AND ALONG THE OCEAN AND OTHER SCENIC COASTAL AREAS AS SPECIFIED IN THE LOCAL COASTAL PROGRAM LAND USE PLAN.

(2) THE PROPOSED COASTAL DEVELOPMENT WILL NOT ADVERSELY AFFECT ENVIRONMENTALLY SENSITIVE LANDS, AND

(3) THE PROPOSED COASTAL DEVELOPMENT IS IN CONFORMITY WITH THE CERTIFIED LOCAL COASTAL PROGRAM LAND USE PLAN AND COMPLIES WITH ALL REGULATIONS OF THE CERTIFIED IMPLEMENTATION PROGRAM.

(4) FOR EVERY COASTAL DEVELOPMENT PERMIT ISSUED FOR ANY COASTAL DEVELOPMENT BETWEEN THE NEAREST PUBLIC ROAD AND THE SEA OR THE SHORELINE OF ANY BODY OF WATER LOCATED WITHIN THE COASTAL OVERLAY ZONE THE COASTAL DEVELOPMENT IS IN CONFORMITY WITH THE PUBLIC ACCESS AND PUBLIC RECREATION POLICIES OF CHAPTER 3 OF THE CALIFORNIA COASTAL ACT.

ALL THESE FINDINGS DO NOT APPLY SINCE THE ADU IS BEHIND AN EXISTING SFR AND NOT NEAR ANY COASTAL OR PUBLIC AREAS.

OVERLAY DESIGNATIONS	
AIRPORT LAND USE COMPATIBILITY OVERLAY ZONE (ALUCOZ)	YES; N4S NORTH ISLAND SAN DIEGO INTERNATIONAL AIRPORT
COASTAL HEIGHT LIMIT OVERLAY ZONE (CHLOZ)	YES
COASTAL HEIGHT LIMIT OVERLAY ZONE (CHLOZ)	YES
COASTAL OVERLAY ZONE (COZ)	YES
COASTAL OVERLAY ZONE (COZ)	YES C&T-AFP
COASTAL OVERLAY ZONE FIRST PUBLIC ROADWAY (COZFR)	YES
PARKING IMPACT OVERLAY ZONE (PIOZ)	YES; PIOZ-COASTAL IMPACT
PARKING IMPACT OVERLAY ZONE (PIOZ)	YES; PIOZ-COASTAL IMPACT
GEOLOGIC HAZARD CATEGORY	YES; B1

BMP TABLE	
TOTAL DISTURBANCE AREA:	1,111 SF.
EXISTING AMOUNT OF IMPERVIOUS AREA:	4,291 SF.
PROPOSED AMOUNT OF IMPERVIOUS AREA:	1,111 SF.
TOTAL IMPERVIOUS AREA:	5,414 SF.
IMPERVIOUS AREA SHALL INCLUDE: ROOF, SIDEWALK, PARKING AREA, WALKWAYS, POOLS, POOL DECK ETC.	
NO WORK WILL BE PERFORMED IN THE RIGHT OF WAY.	
EXISTING AMOUNT OF PERVIOUS AREA:	6,000 SF.

GRADING TABLE	
EARTHWORK QUANTITIES TABLE	
CUT QUANTITY:	0.00 C.Y.
FILL QUANTITY:	0.00 C.Y.
EXPORT:	0 C.Y.
MAX. CUT DEPTH:	3'-0" FL.
MAX. FILL DEPTH:	0
THE PROJECT PROPOSES TO EXPORT 0 CUBIC YARDS OF MATERIAL FROM SITE. ALL EXPORT MATERIAL SHALL BE DISCHARGED TO A LEGAL DISPOSAL SITE. THE APPROVAL OF THIS PROJECT DOES NOT ALLOW PROCESSING AND SALE OF THE MATERIAL. ALL SUCH ACTIVITIES REQUIRE A SEPARATE CONDITIONAL USE PERMIT.	
NOTE: IMPERVIOUS AREA SHALL INCLUDE: ROOF, SIDEWALK, PARKING AREA, WALKWAYS, POOLS, POOL DECKS ETC.	

APPLICABLE CODES	
THIS PROJECT SHALL COMPLY WITH THE FOLLOWING CODES:	
2022 CALIFORNIA RESIDENTIAL CODE	
2022 CALIFORNIA ELECTRICAL CODE	
2022 CALIFORNIA GREEN BUILDING CODE	
2022 CALIFORNIA MECHANICAL CODE	
2022 CALIFORNIA PLUMBING CODE	
2022 CALIFORNIA ENERGY EFFICIENCY STANDARDS	
2022 CALIFORNIA BUILDING CODE	
2022 CALIFORNIA FIRE CODE	

THERE ARE TWO TRANSIT STOPS ON CATALINA RD

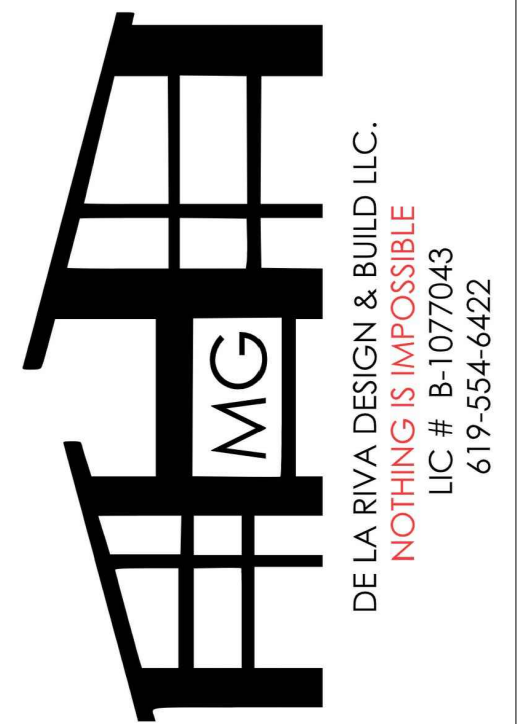
ABBREVIATIONS	
•	AT
A.A.	ATTIC ACCESS
A.B.	ANCHOR BOLT
ABV.	ANCHOR BOLT
A.C.A.P.	AS CLOSE AS POSSIBLE
A.C.	AIR CONDITIONER
AL	ALUMINUM
AUG.	AUNING
B.L.C.G.	BLOCK
B.M.	BLOCKING
B.N.	BEAM
B.O.	BOUNDARY NAIL
C/O	CASED OPENING
CLG.	CLEAR
CLR.	CEILING
C.M.U.	CONCRETE MASONRY UNIT
COMPO.	COMPOSITION
CONT.	CONTINUOUS
CONC.	CONCRETE
C&T	C&T
D.	DRYER
D.B.L.	DOUBLE
D.W.	DRIVEWAY
D.W.	DISHWASHER
EN.	EDGE NAIL
EQ.	EQUAL
E.W.	EACH WAY
(E)	EXISTING
EXSTG	EXISTING
EXT	EXT
F.A.U.	FORCED AIR UNIT
FF.	FINISHED FLOOR
FG.	FINISHED GRADE
FG.	FIBERGLASS
FN.	FIELD NAIL
F.O.S.	FACE OF STUD
F.O.P.	FACE OF POST
F.P.	FIRE PLACE
FTG	FOOTING
F.V.	FLAT VALLEY
G.B.	GYPSPUM BOARD
G.D.	GARBAGE DISPOSAL
G.F.C.I.	GROUND FAULT CIRCUIT INTERRUPT
GL.	GLASS
GR.	GUARDRAIL
H.B.	HOSE BIBB
HDR.	HEADER
HR.	HANDRAIL
HTR.	HEATER
INT.	INTERIOR
MAX.	MAXIMUM
M.B.	MACHINE BOLT
M.C.	MEDICINE CABINET
MIN.	MINIMUM
MIR.	MIRROR
MFR.	MANUFACTURER
O.	OVER
OS&C.	OS&C
O.C.	ON CENTER
O.H.	OVERHANG
OPNS	OPENING
P.C.C.	PORTLAND CONC. CEMENT
P.K.T.	POCKET
PL.	PLATE
P.T.	PRESSURE TREATED
RAD.	RADIUS
REF.	REFRIGERATOR
R.F.V.D	REMOVED
REQD	REQUIRED
R.O.	ROUGH OPENING
S.G.D	SLIDING GLASS DOOR
S.G.W	SLIDING GLASS WINDOW
S.H.U	SINGLE HUNG WINDOW
S.H.T	SHEET
S.H.TG	SHEATHING
S.HUR	SHOWER
S.M.	SHEET METAL
S & P	SHELF & POLE
T.B.	TOUPEL BAR
T.C.	TRAIN COMPACTOR
T & B	TOP & BOTTOM
T & G	TONGUE & GROOVE
TEMP	TEMPERED
T.N.	TOE NAIL
TYP.	TYPICAL
UNL.	UNLESS OTHERWISE NOTED
V.	VINTL
V.B.	VAPOR BARRIER
W.	WASHER
W	WITH
W.C.	WATER CLOSET
W.D.	WINDOW
W.H.	WATER HEATER
W.P.	WATER PROOF
V.I.A	VERIFY IN FIELD

AREA TOTALS	
HABITABLE AREA	
(E) MAIN DWELLING (NO WORK)	1,931 SQ. FT.
EXISTING ATTACHED GARAGE (NO WORK)	423 SQ. FT.
ADU	1,111 SQ. FT.
TOTAL	3,411 SQ. FT.

PROJECT DATA	
BASE ZONE:	RS-1-T
OCCUPANCY/GROUP SFR	R-3
CONSTRUCTION TYPE:	V-B
SETBACKS ZONE REQUIREMENTS	
FRONT	15'-0"
LEFT SIDE YARD	4.8'
RIGHT SIDE YARD	4.8'
REAR YARD	15'-0"
MAX. BUILDING HEIGHT	24FT/30FT PER TABLE 151-04D
LOT AREA:	10,244 SF.
YEAR BUILT:	1981
EXISTING LANDSCAPE	5200 SF.

FLOOR AREA RATIO	
54 x 10,244 SF. • 5,423.76 SF. ALLOWED	
3,411 SF. PROVIDED	

OWNER	
MICHAEL & CHRISTINA RODRIGUEZ 658 TARENTO DR SAN DIEGO CA 92106	
SITE ADDRESS	
658 TARENTO DR SAN DIEGO CA 92106	
ADU ADDRESS	
660 TARENTO DR SAN DIEGO CA 92106	
LEGAL	
LOT 25 OF WOODLAND TERRACE UNIT No.1, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO THE MAP THEREOF No. 2663, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO, MAY 26, 1950 APN: 532-091-09-00	
VICINITY MAP	
SCOPE OF WORK	
<input type="checkbox"/> COASTAL PERMIT APPLICATION FOR 1 NEW ACCESSORY DWELLING UNIT. (1,111 SF.) -NEW 6'-0" HIGH x 15'-0" LONG WOOD FENCE AND GATE. COASTAL DEVELOPMENT PERMIT (PROCESS 3) NO DEVIATIONS ARE ASSOCIATED WITH THE PRJ-1115514 NEW 100 AMP ELECTRICAL METER FOR ADU LOCATION BY OWNER (E) RESIDENCE DOES NOT HAVE FIRE SFRINKLERS	
SHEET INDEX	
TS	TITLE SHEET
SP	SITE PLAN
1	ROOF PLAN/ADU FLOOR PLAN
2	EXTERIOR ELEVATIONS
3	SECTIONS



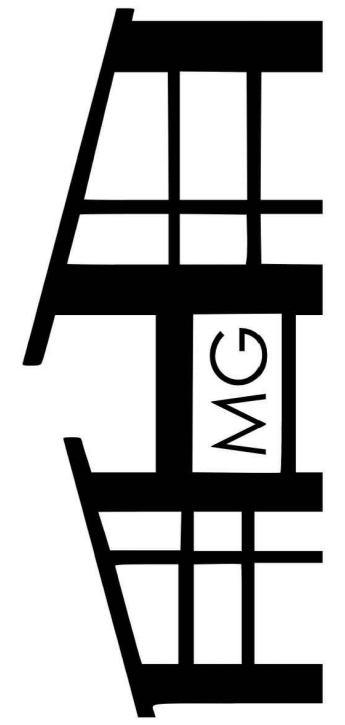
DE LA RIVA DESIGN & BUILD LLC
 2305 SWEETWATER RD
 SPRING VALLEY CA 91977
 RDCELL 619.554.6422

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RODRIGUEZADU
 658-660 TARENTO DR.
 SAN DIEGO CA 92106

PROJECT # PRJ-1115514
 Drawn By GERARDO
 Date 09.04.24
 Recheck #1 02.10.25
 Recheck #2 05.14.25
 Recheck #3
 APN: 532-091-0900
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SPRING VALLEY CA 91977
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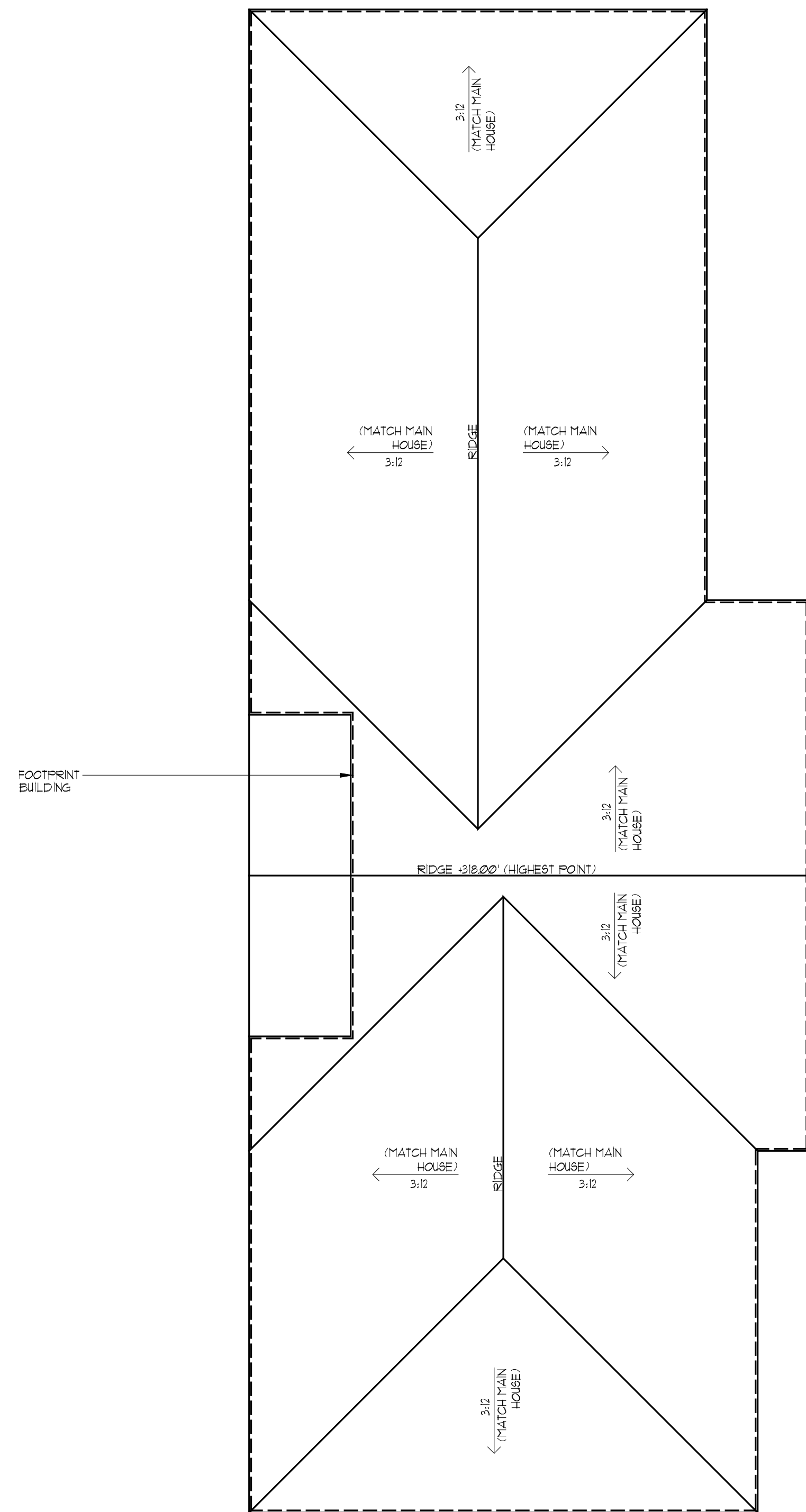
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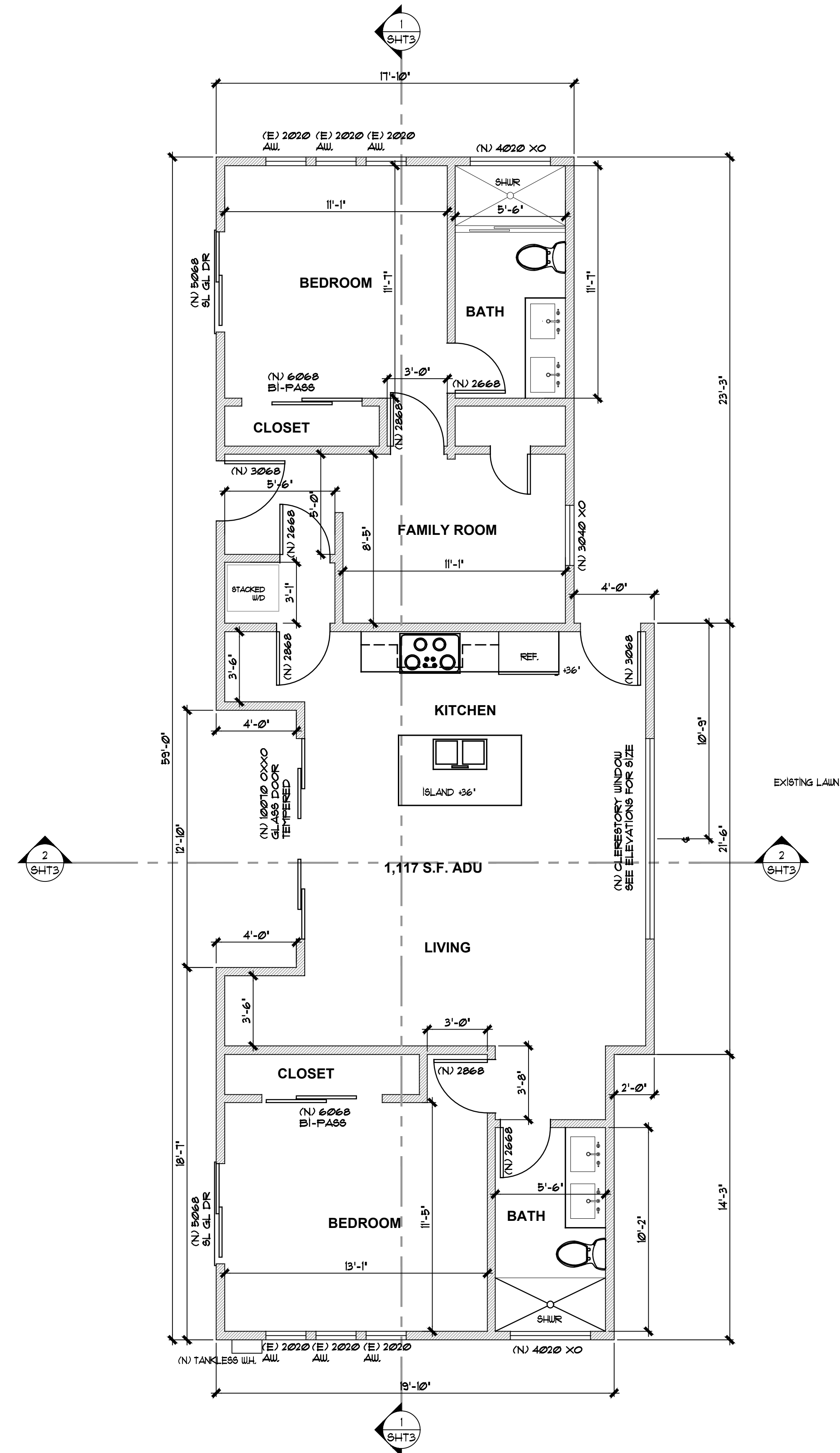
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2 Proposed Roof Plan - ADU
 Scale: 1/4" = 1'-0"

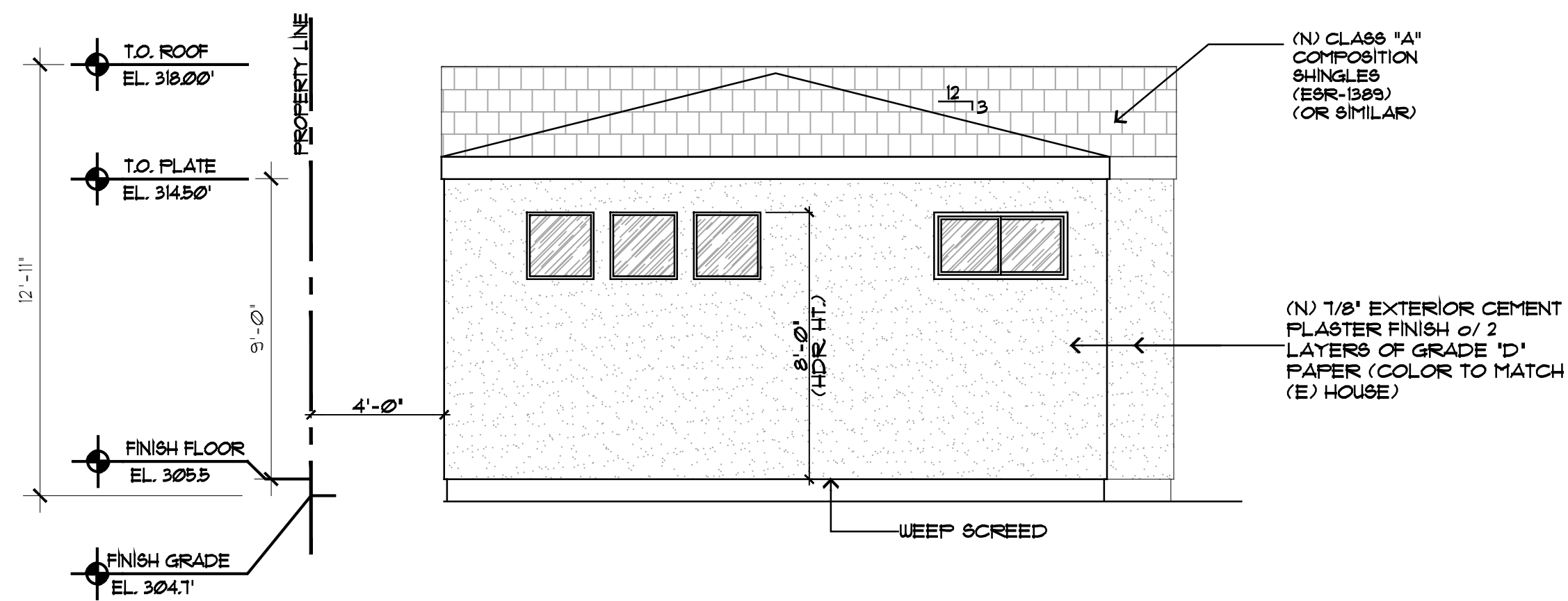


1 Proposed Floor Plan - ADU
 Scale: 1/4" = 1'-0"

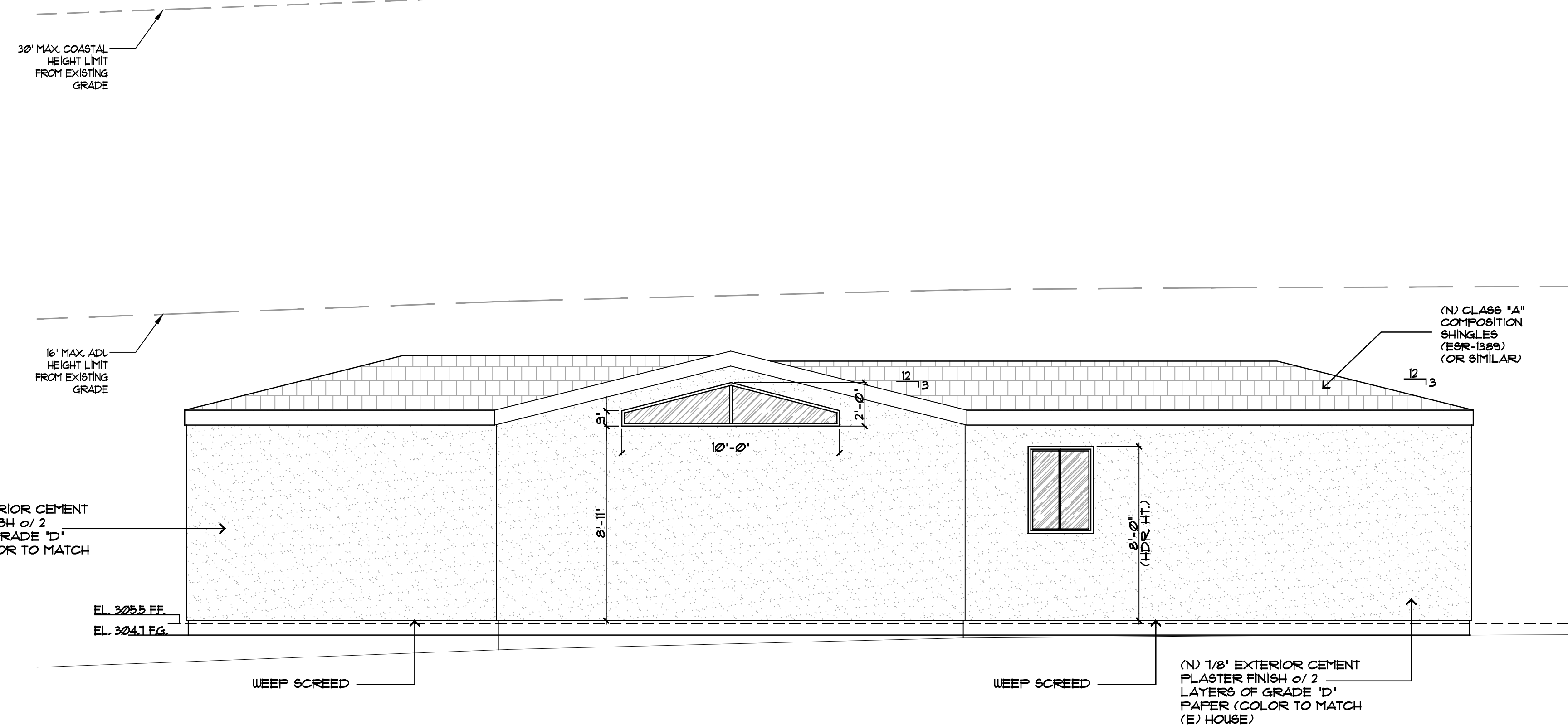
AREA
 ADU: 1,117 S.F.

PLAN LEGEND

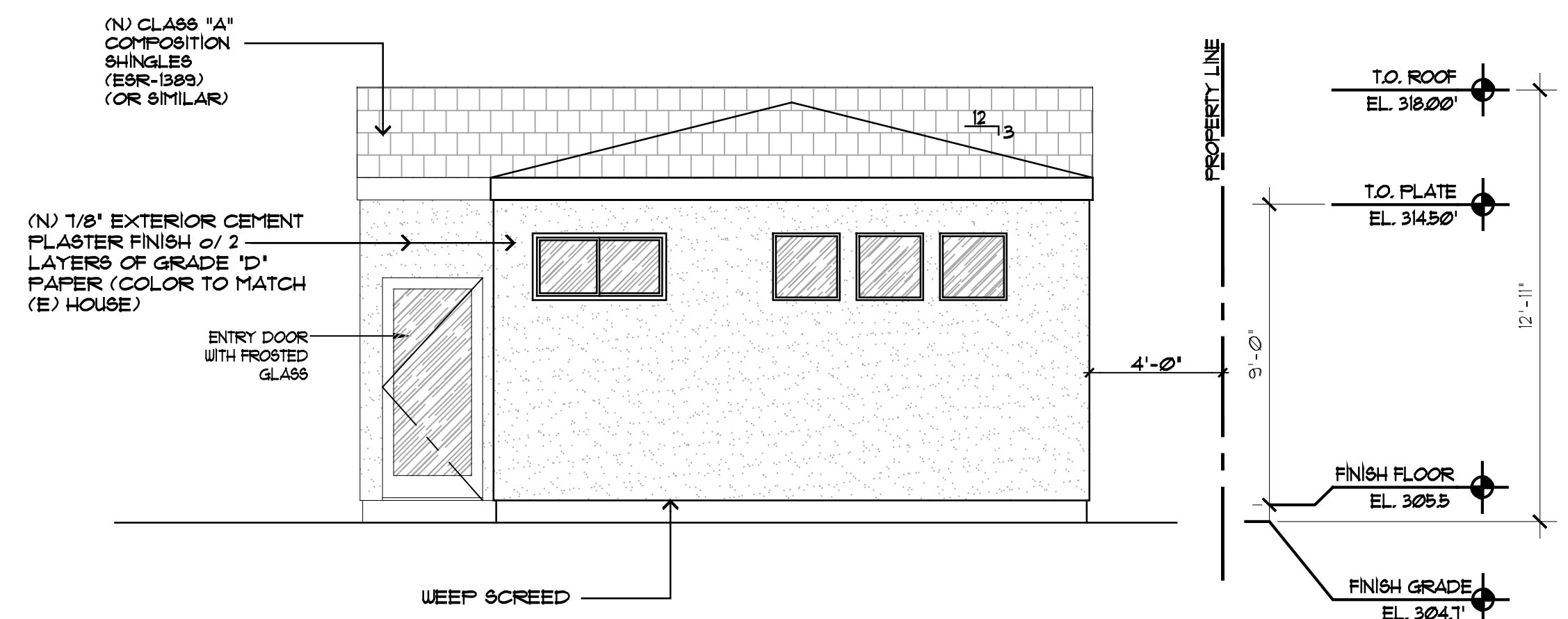
- EXISTING WALL TO REMAIN
- NEW 2X4 WALL
- EXISTING WALL TO BE REMOVED
- SMOKE DETECTORS - INTERCONNECTED AND HARD WIRED WITH BATTERY BACK UP
- COMBINATION CARBON MONOXIDE/SMOKE ALARMS - INTERCONNECTED AND HARD WIRED WITH BATTERY BACK UP
- LIGHT FIXTURE & EXHAUST FAN (50 CFM MIN.)
- EXHAUST FAN (50 CFM MIN.)
- NEW OUTDOOR LIGHTING AT NEW EXTERIOR EXITS



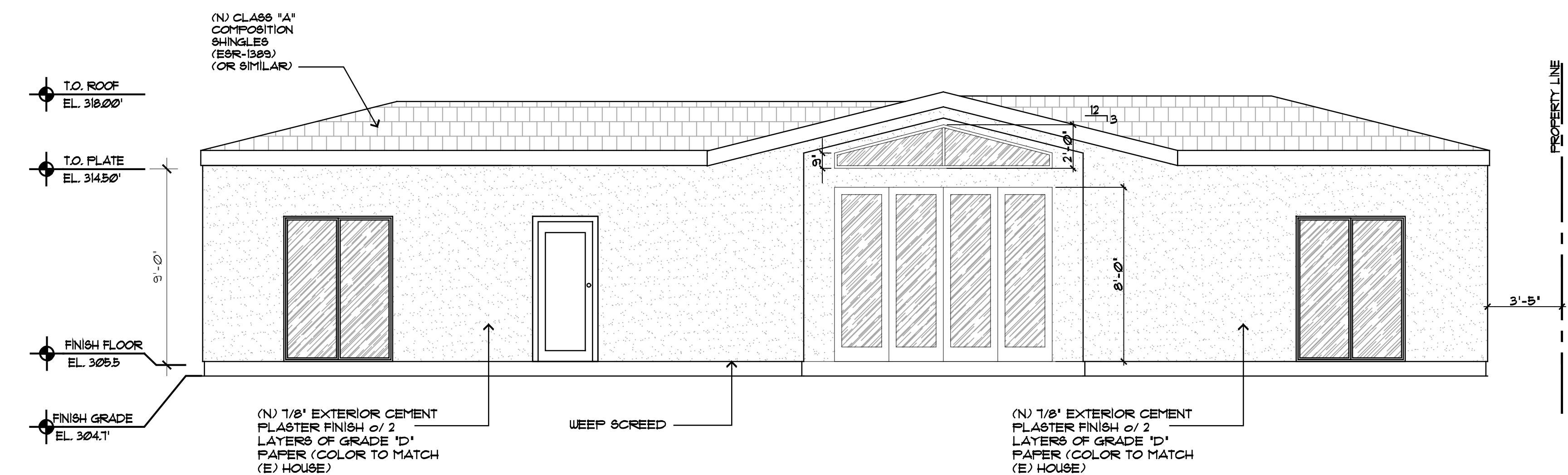
1 South Elevation
Scale: 1/4" = 1'-0"



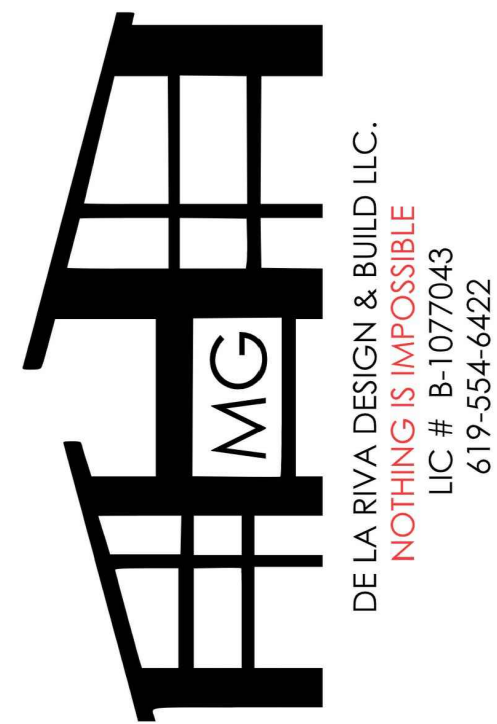
2 East Elevation
Scale: 1/4" = 1'-0"



3 North Elevation
Scale: 1/4" = 1'-0"



4 West Elevation
Scale: 1/4" = 1'-0"



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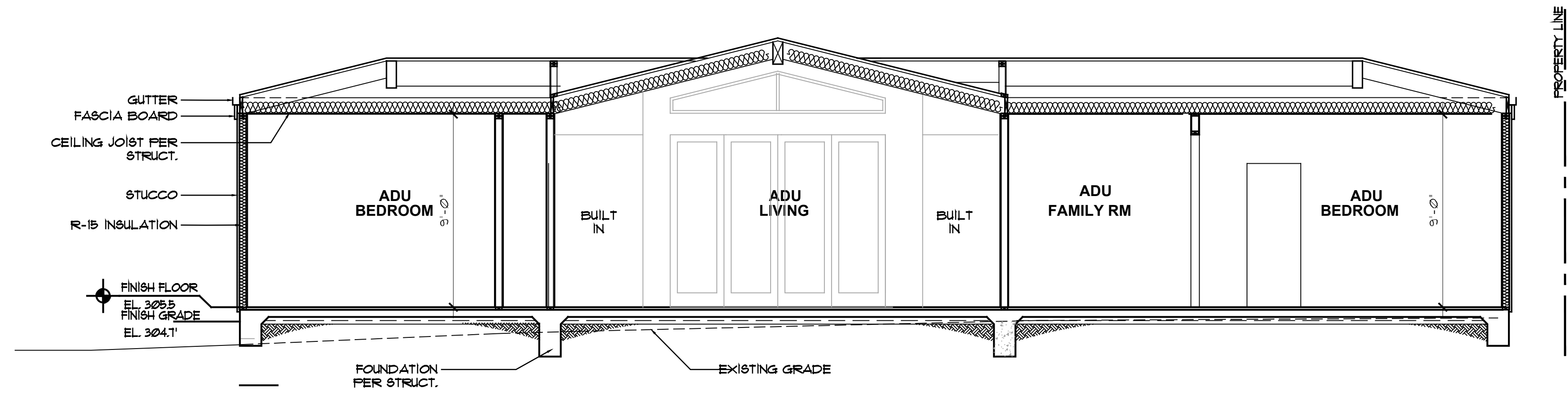
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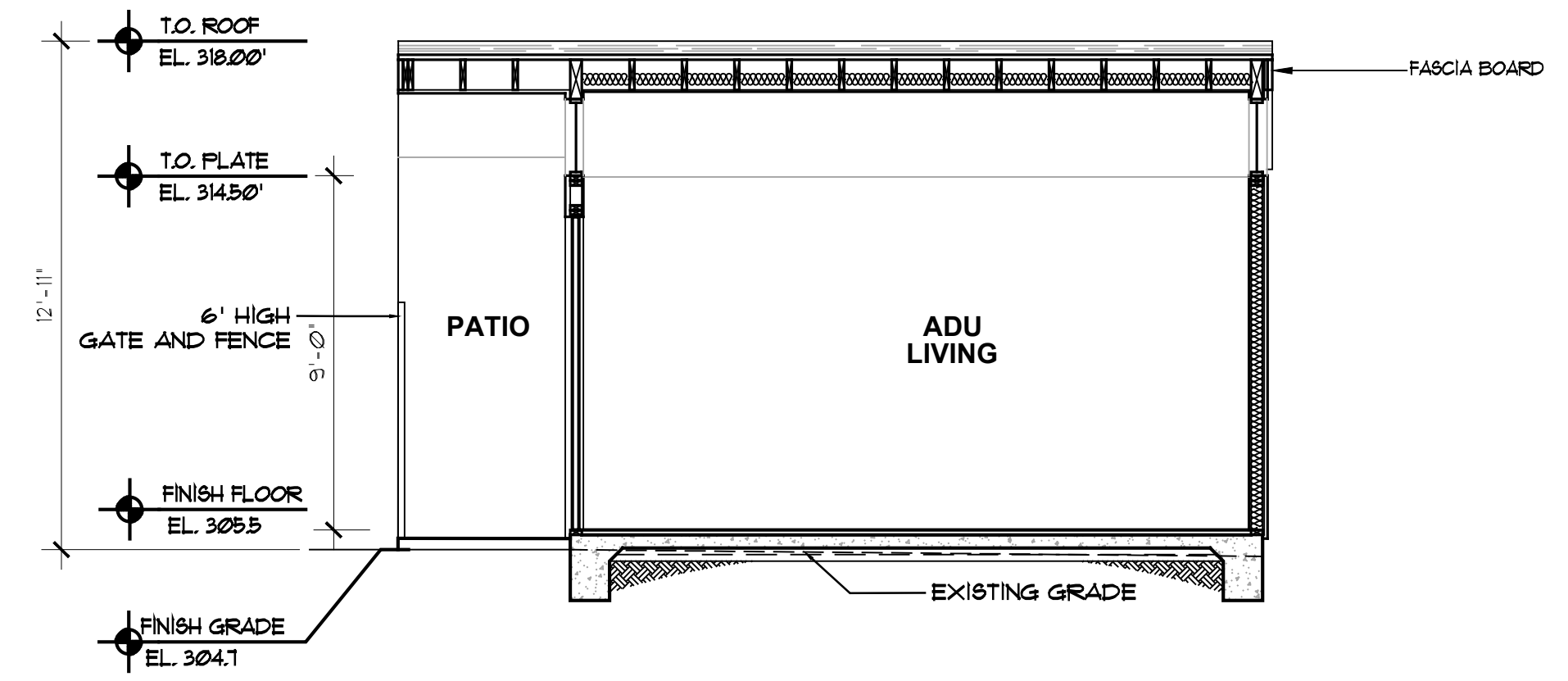
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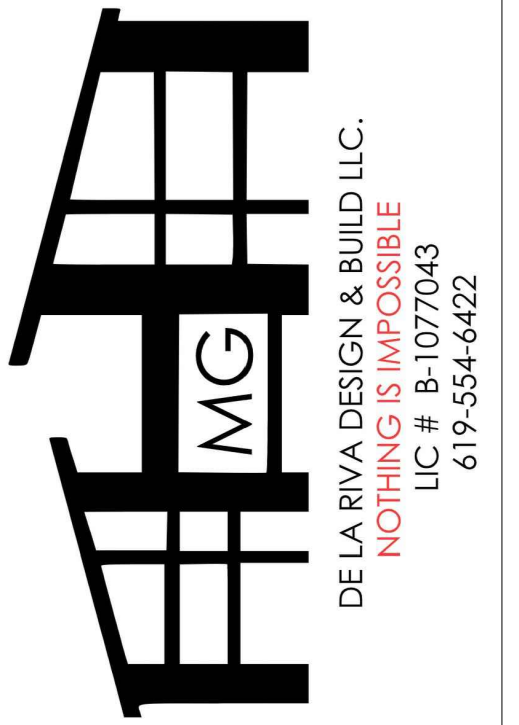
Exterior Elevations



1 Section
 - Scale: 1/4" = 1'-0"



2 Section
 - Scale: 1/4" = 1'-0"



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