

Approval Stamps:

Architectural Abbreviations:

ADJ. Adjacent	F.E. Fire Extinguisher	P.C.F. Pounds Per Cubic Foot
A.F.F. Above Finish Floor	F.F. Finish Floor	PERF. Perforated
ALUM. Aluminum	FLR. Floor	P.L.F. Pounds Per Linear Foot
ALT. Alternate	F.O. Face of	PLY. Plywood
ARCH. Architectural	F.O.C. Face of Concrete	P.S.F. Pounds Per Square Foot
AVG. Average	F.O.M. Face of Masonry	P.S.I. Pounds Per Square Inch
	F.O.S. Face of Stud	P.T. Pressure Treated
BD. Board	FP. Fireplace	RAG. Return Air Grille
BDLG. Building	FRMG. Framing	REF. Reference
BLKG. Blocking	FRZR. Freezer	REFR. Refrigerator
BM. Beam	FT. Feet, Foot	REQD. Required
BTWN. Between	FTG. Footing	REV. Revision
		RM. Room
CA.TV. Cable Television	G. Gas	R.O. Rough Opening
CBC. California Building Code	GA. Gauge	SECT. Section
C.I.P. Cast-In-Place Concrete	GALV. Galvanized	S.F. Square Foot
C.J. Control Joint	G.C. General Contractor	S.H. Shower
CLG. Ceiling	G.F.I. Ground Fault Interrupter	S.HWR. Shower
CLR. Clear	GL. Glass	SM. Similar
C.M.U. Concrete Masonry Unit	HDR. Header	SPECS. Specifications
COL. Column	HGR. Hanger	SQ. Square
CONC. Concrete	HORIZ. Horizontal	S.S. Stainless Steel
CONT. Continuous	HT. Height	STD. Standard
CPT. Carpet	HTG. Heating	STL. Steel
C.T. Ceramic Tile	HVAC. Heating/Ventilating/Air-Conditioning	SUSP. Suspended
CTR. Center	H.W. Hot Water	SYS. System
C.W. Cold Water		TEL. Telephone
		THK. Thickness
D.F. Douglas Fir	INCL. Included/Including	T.O.C. Top Of Concrete
DIA. Diameter	INFO. Information	T.O.B. Top Of Beam
DIM. Dimension	INSUL. Insulation	T.O.S. Top Of Slab
D.L. Dead Load	INT. Interior	T.O.W. Top Of Wall
DN. Down	LAV. Lavatory	TYP. Typical
DW. Dishwasher	LB. (LBS.) Pound(s)	
DWG. Drawing	L.F. Linear Foot	UBC. Uniform Building Code
DWR. Drawer	L.L. Live Load	UC. Undercounter
		U.O.N. Unless Otherwise Noted
EA. Each	MAX. Maximum	V.I.F. Verify In Field
E.I.F.S. Exterior Insulation Finish System	MECH. Mechanical	V. Vener
E.J. Expansion Joint	MFR. Manufacturer	V.A. Vinyl Tile
ELEC. Electrical	MICRO. Microwave	
ELEV. Elevation	MIN. Minimum	
E.O.S. Edge of Slab	MISC. Miscellaneous	
EQ. Equal	MTL. Metal	W. With
EQUIP. Equipment	N/A. Not Applicable	W.C. Water Closet
EXT. Exterior	NO. Number	WD. Washer/Dryer
F.C.U. Fan Coil Unit	N.T.S. Not To Scale	W/O. Without
F.D. Floor Drain	O.C. On Center	WP. Waterproof
FDN. Foundation		WT. Weight

Project Directory:

**Owner:**  
Travis and Ashlyn Carter  
1018 Novara Street  
San Diego, CA 92107

**Landscape Architect:**  
FALA  
Mark Fuente  
2220 Olay Lakes Rd. Ste 502 #748  
Chula Vista, CA 91915  
858.910.376  
mark@fuerte-associates.com

**Project Architect:**  
christian rice architects, inc.  
Christian Rice, AIA  
CA Lic. # C-31139  
1127 Loma Avenue  
Coronado, California 92118  
619.522.9040  
cr@christianrice.com

**Civil Engineer:**  
Enginity Consulting  
Zubin Patrawala, P.E., LEED AP  
10531 Commons Drive  
San Diego CA 92127  
484.744.1335  
zubin@enginityconsulting.com

Building Department Information:

Area of existing building to be demolished: 2,032 sq. ft.

**Project Totals:**  
First Floor: 2,246 sq. ft.  
Second Floor: 2,289 sq. ft.  
ADU: 670 sq. ft.  
**Total Conditioned Area: 5,205 sq. ft.**  
Garage: 500 sq. ft.  
Covered Entry: 83 sq. ft.  
Outdoor Living: 618 sq. ft.

Project Information:

**Project Description:**  
Scope of work includes the demolition of the existing single family home, and the construction of a new two-story single-family residence and an Accessory Dwelling Unit (ADU). The scope of work includes:

- Discretionary Approval: Coastal Development Permit
- Demolition of all existing structures
- Construction of a new two-story single-family residence with an ADU
- New electric meter upgrade
- New water meter upgrade
- New landscape
- New perimeter fencing and low retaining walls
- Concrete work in right of way
- New landscaping in right of way
- New outdoor pool & spa

**Notice of Completion:** Notice of Completion Cannot be Located

Legal Description:

Lot 25 in block 22 of Sunset Cliffs. In the city of San Diego, county of San Diego, state of California, according to map thereof no. 1889 filed in the office of the county recorder of San Diego County, March 1, 1926.

**Assessor's Parcel Number:** 531-030-12-00  
**Construction Type:** V B - Wood Frame  
**Occupancy Classification:** R3  
**Automatic Fire Sprinklers:** Yes; For main dwelling and ADU  
**Stories:** Two  
**Overall Structure Height:** 37'- 8" (Max: 30'-0" + Grade Differential)  
**Prop 'D' Datum Height:** 27'-8"  
**Parking:** 2 covered

**San Diego Zoning:** RS-1-7  
**Lot Area:** 10,416 sq. ft.

**Structural Coverage:** 3,430 sq. ft. (32.9%; 50% Allowed)

**Gross Floor Area (GFA) Calculations:**  
First Floor: 2,246 sq. ft.  
Second Floor: 2,289 sq. ft.  
ADU: 490 sq. ft. (180 sq. ft. excluded from ADU area; considered basement)  
Garage: 500 sq. ft.  
Phantom Floor: 89 sq. ft. (Living Room)  
**TOTAL: 5,614 sq. ft.**

**FAR: 53.9% (5,614 sq.ft. / 10,416 sq.ft.)**

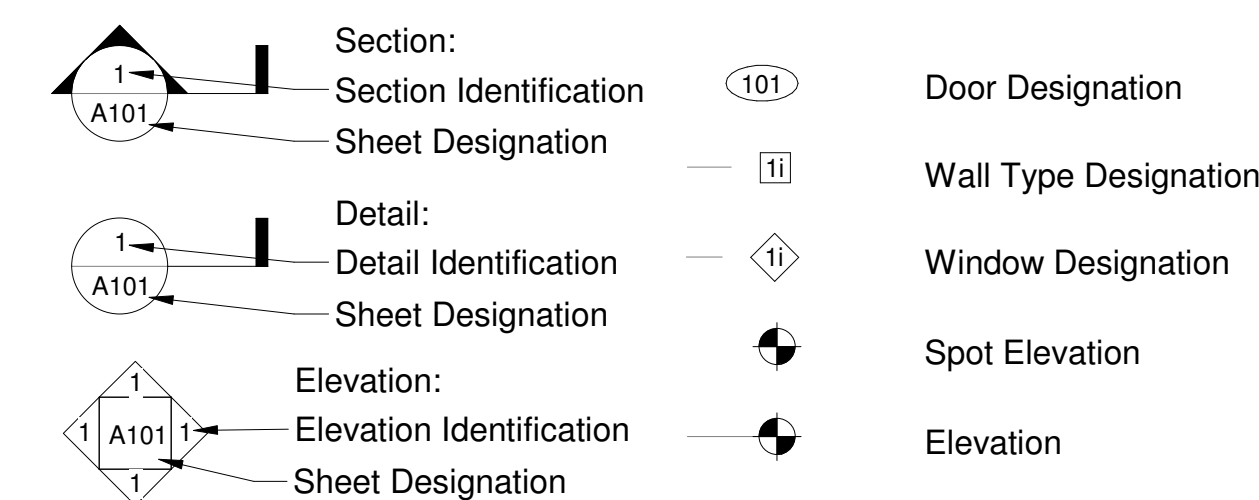
Development Summary:

Existing Use	R3; Single family residence
Proposed Use	R3; Single family residence
Year Built	1950
Existing Low Income Units to be Demolished	None
Geologic Hazard Category:	52
Overlay Zones Designation	Airport Land Use Compatibility Overlay Zone (ALUCOZ) Coastal Height Limit Overlay Zone (CHLOZ) Coastal Overlay Zone (COZ) Parking Impact Overlay Zone (PIOZ) ALUCP Airport Influence Area (AIA) FAA Part 77 Noticing Area
Landscape Planting Area:	3,703 SF

Drawing Index:

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- C2.0 Site Plan
- C3.0 Grading Plan
- C4.0 Utility Plan
- L1 Landscape Concept Plan
- L1.0 Landscape Concept Plan
- L2.0 Hydrozone Plan
- A1 Site Plan
- A2 First Floor and ADU Plan
- A3 Second Floor Plan
- A4 Roof Plan
- A5 Building Elevations
- A6 Building Elevations
- A7 Building Sections
- A8 Building Sections

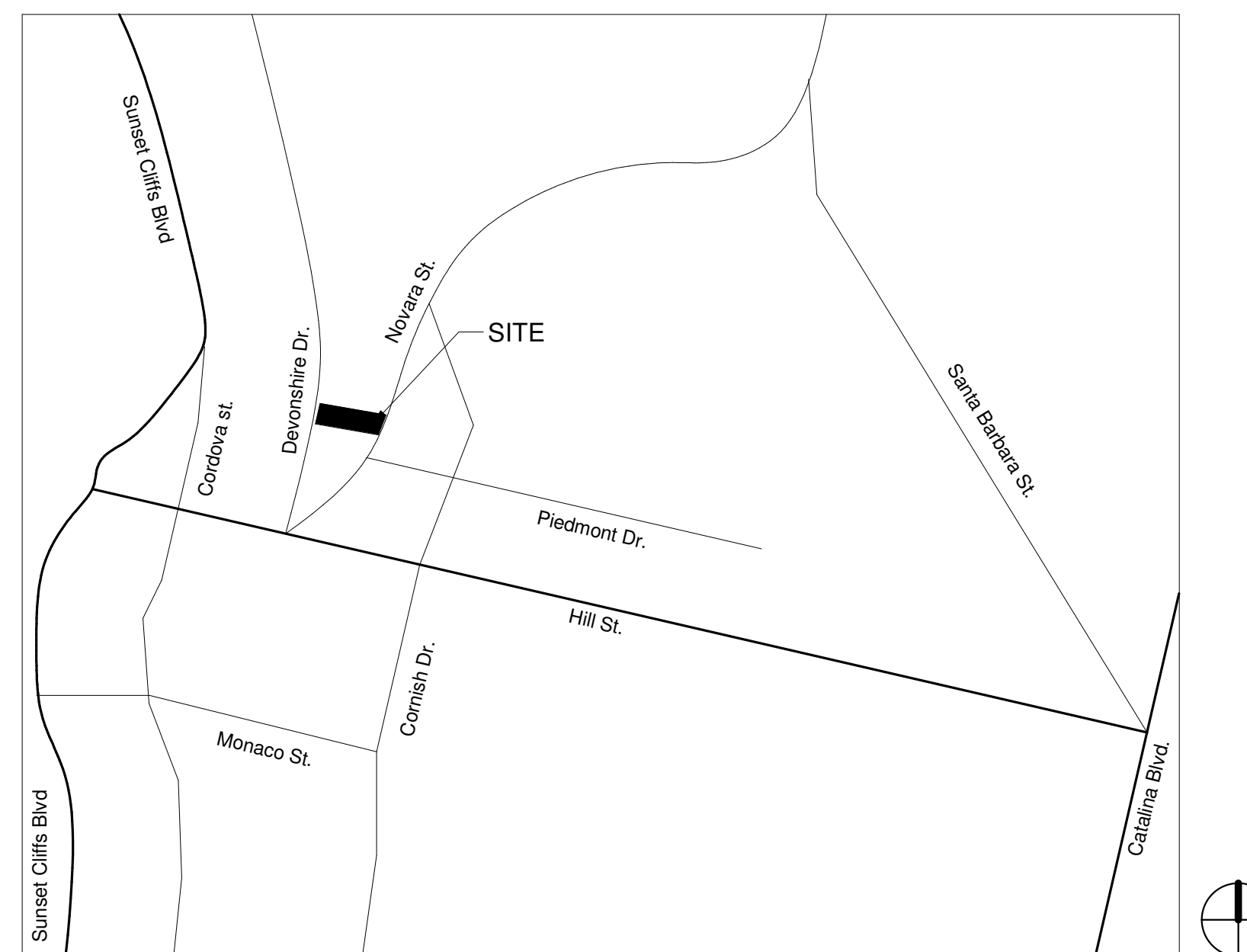
Symbols:



Applicable Codes:

- 2022 California Residential Code (CRC) and/or California Building Code (CBC) as applies
- 2022 California Green Building Standards Code (CGC or CalGreen)
- 2022 California Electrical Code (CEC)
- 2022 California Energy Code (CEC ES)
- 2022 California Mechanical Code (CMC)
- 2022 California Plumbing Code (CPC)
- 2022 California Fire Code (CFC)
- 2022 California Building Energy Efficiency Standards (CBEES)
- 2022 National Electrical Code (NEC)

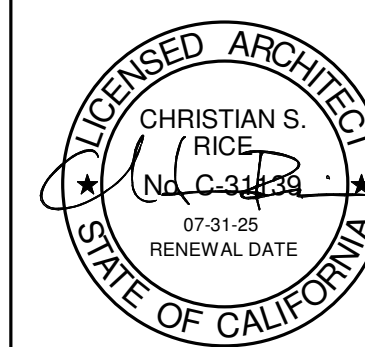
Vicinity Map:



Note: There are no transit stops adjacent to the site. No new transit stops are proposed

Carter Residence  
1018 Novara Street, San Diego, CA 92107

christian rice architects, inc.  
1127 Loma Ave, Coronado, CA 92118 p 619.522.9040



drawn by:

HA

drawing date:

June 10, 2025

revisions:

revision	date	notes

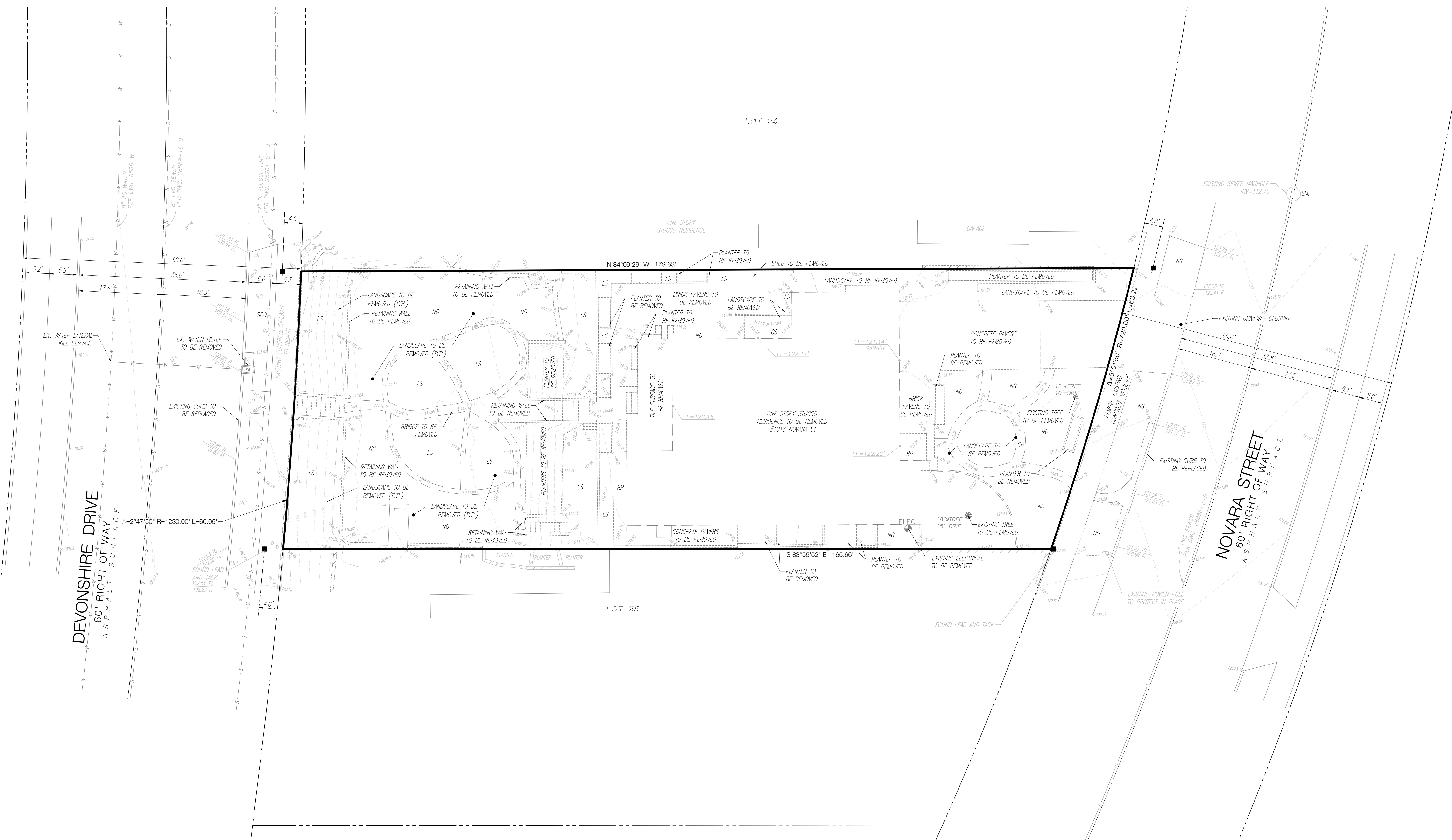
Title Sheet

T1

sheet number

**Existing Conditions & Demolition Plan**

Date: 08.21.2025  
 Drawn By: ZRP  
 Checked By: ZRP  
 Scale (H): 1" = 10'  
 Scale (V):

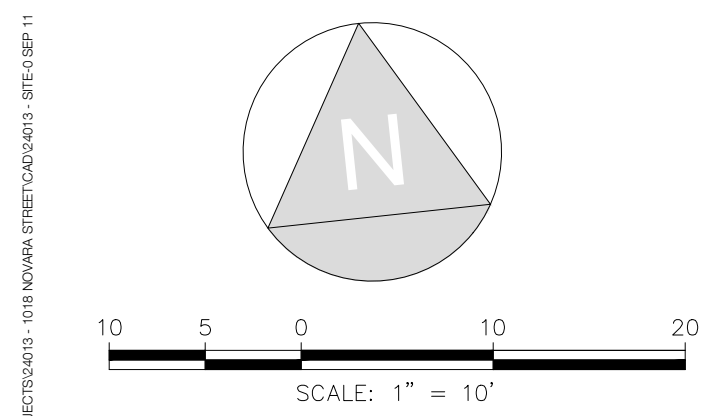


**DRAWING LEGEND**

	PROPERTY LINE		INDICATES POWER POLE.
	CENTER LINE		METERS (ELECT/GAS)
	DRAINAGE EASEMENT		EXISTING SPOT ELEVATION
	LOT LINE/RIGHT OF WAY		APPROXIMATE LIMIT OF WORK
	BOUNDARY LINE DATA (BEARING/DISTANCE)		EXISTING MINOR CONTOUR
	FOUND BOUNDARY MONUMENT		EXISTING MAJOR CONTOUR
	EXISTING SEWER		EXISTING WATER METER
	EXISTING WATER		EXISTING TRANSFORMER
	EXISTING CHAIN LINK FENCE		EXISTING COMMUNICATIONS VAULT
	EXISTING SHEET METAL FENCE		
	EXISTING WROUGHT IRON FENCE		
	EXISTING RETAINING WALL		
	EXISTING SEWER MAN-HOLE		

**LEGAL DESCRIPTION:**  
 LOT 25 IN BLOCK 22 OF SUNSET CLIFFS, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 1889 FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY MARCH 1, 1926.

**BASIS OF ELEVATION:**  
 SOUTH-EAST BRASS PLUG  
 NOVARA STREET AND PIEDMONT DRIVE  
 ELEVATION = 116.871 M.S.L.

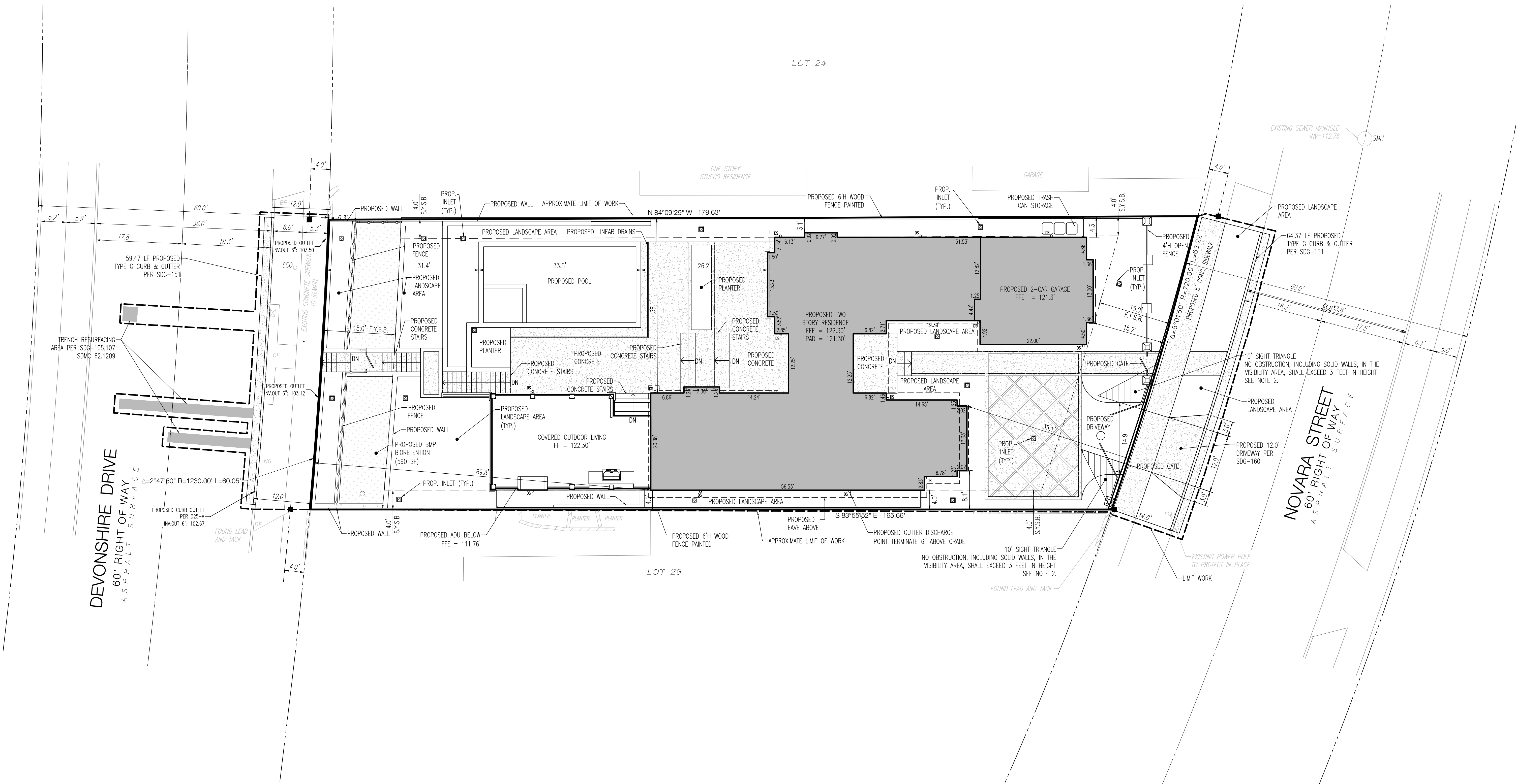


\*NOTE - GENERALLY, ITEMS IN DRAWING IN ITALICS ARE EXISTING, AND ITEMS IN NON ITALIC ARE PROPOSED.



**Ex.Cond & DemoPlan**

**C1.1**



Date: 08.21.2025  
 Drawn By: ZRP  
 Checked By: ZRP  
 Scale (H): 1" = 10'  
 Scale (V):

**DRAWING LEGEND**

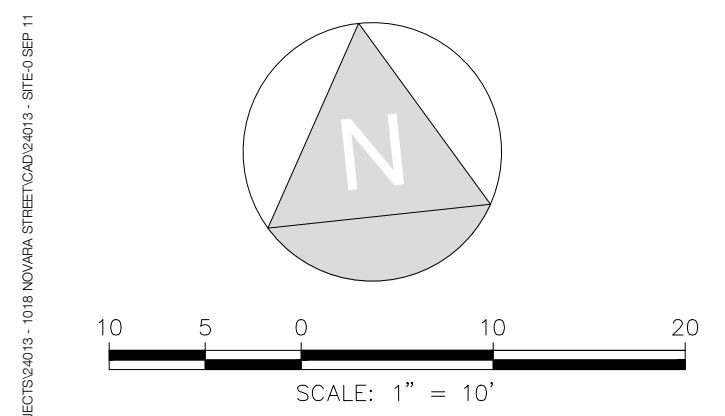
	PROPERTY LINE		BMP AREA
	CENTER LINE		PROPOSED DRIVEWAY CUT
	DRAINAGE EASEMENT		PROPOSED RETAINING WALL
	EASEMENT LINE		CONCRETE PAVEMENT OR WALK
	LOT LINE/RIGHT OF WAY		EXISTING SPOT ELEVATION
	SOLID PVC FENCE		APPROXIMATE LIMIT OF WORK
	BOUNDARY LINE DATA (BEARING/DISTANCE)		CURB AND GUTTER
	FOUND BOUNDARY MONUMENT		PROPOSED ROOF DRAIN
	INDICATES POWER POLE.		
	METERS (ELECT./GAS)		
	PROPOSED STORM DRAIN INLET		

**NOTES:**

- ALL STORMWATER RUNOFF FROM PROPOSED AND/OR REPLACED IMPERVIOUS AREAS SHALL BE ROUTED TO PERVIOUS SURFACES OR LANDSCAPING PRIOR TO REACHING THE PUBLIC DRAIN SYSTEM.
- NO OBSTRUCTION, INCLUDING SOLID WALLS, IN THE VISIBILITY AREA, SHALL EXCEED 3 FEET IN HEIGHT. PER SDMC SECTION 142.0409 (B)(2), PLANT MATERIAL, OTHER THAN TREES, LOCATED WITHIN VISIBILITY AREAS OR THE ADJACENT PUBLIC RIGHT-OF-WAY SHALL NOT EXCEED 36 INCHES IN HEIGHT, MEASURED FROM THE LOWEST GRADE ABUTTING THE PLANT MATERIAL TO THE TOP OF THE PLANT MATERIAL.

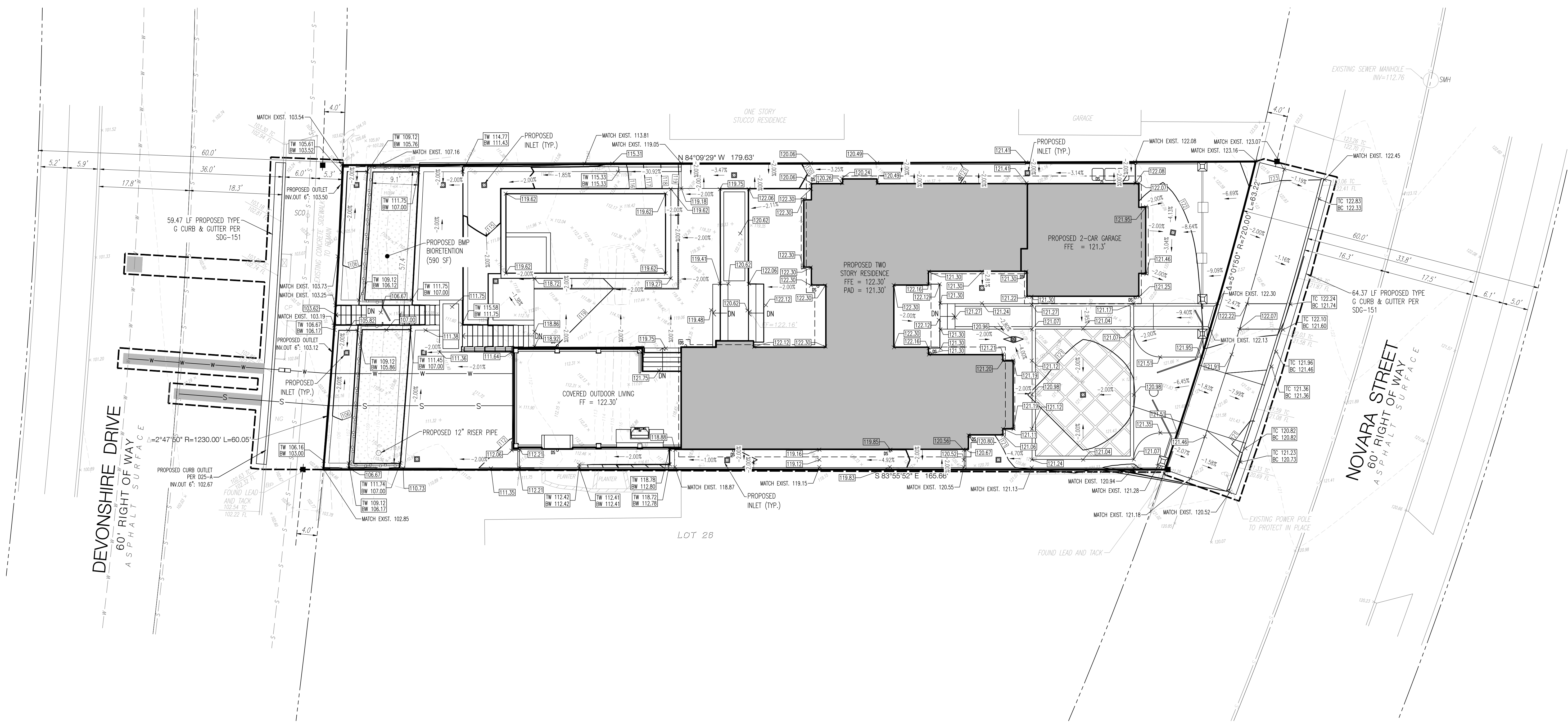
**IMPERVIOUS/PERVIOUS AREA CALCULATIONS:**

EXISTING PERVIOUS AREA: 5,158.27 SF  
 EXISTING IMPERVIOUS AREA: 5,258.12 SF  
 PERCENT IMPERVIOUS: 50.48 %  
 PROPOSED PERVIOUS AREA: 4,190.38 SF  
 PROPOSED IMPERVIOUS AREA: 6,226.01 SF  
 PERCENT IMPERVIOUS: 59.77 %



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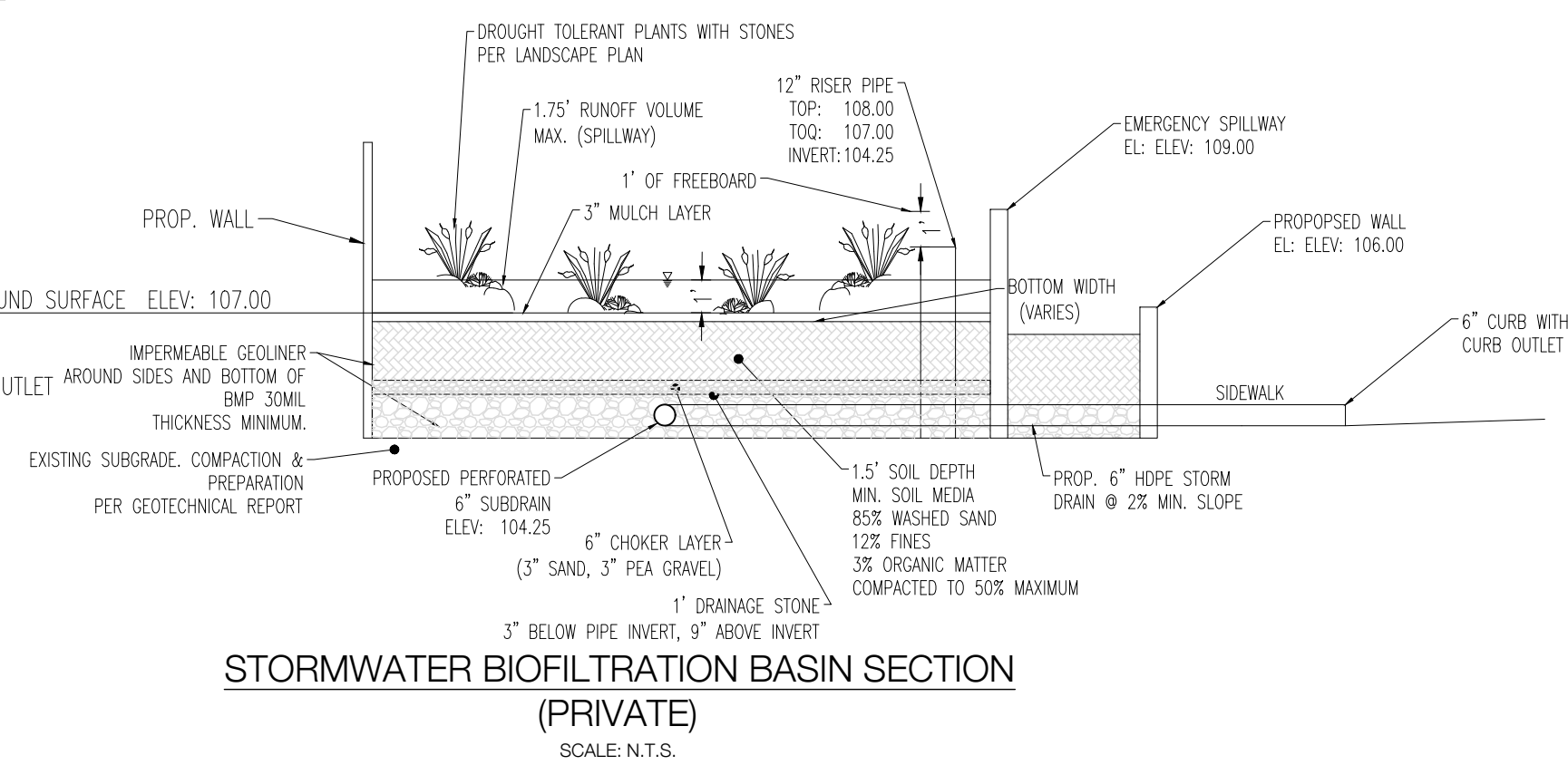
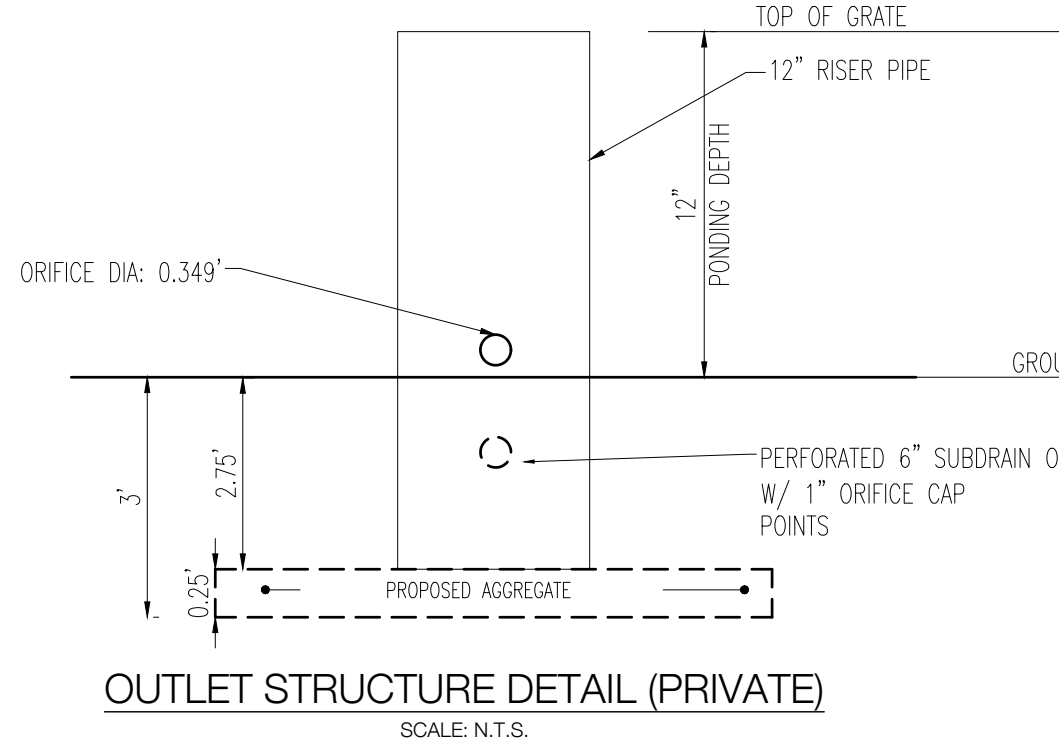
**DRAWING LEGEND**

	PROPERTY LINE		BMP AREA
	CENTER LINE		PROPOSED DRIVEWAY CUT
	LOT LINE/ RIGHT OF WAY		PROPOSED RETAINING WALL
	DRAINAGE EASEMENT		CONCRETE PAVEMENT OR WALK
	EASEMENT LINE		NEW CURB SPOT ELEVATION
	PROPOSED SEWER LATERAL		NEW SPOT ELEVATION
	PROPOSED WATER LATERAL		EXISTING SPOT ELEVATION
	SOLID PVC FENCE		PROPOSED MINOR CONTOUR
	BOUNDARY LINE DATA (BEARING/DISTANCE)		PROPOSED MAJOR CONTOUR
	FOUND BOUNDARY MONUMENT		CURB AND GUTTER
	EXISTING SEWER		APPROXIMATE LIMIT OF WORK
	EXISTING WATER		PROPOSED ROOF DRAIN
	EXISTING RETAINING WALL		
	INDICATES POWER POLE.		
	METERS (ELECT/GAS)		
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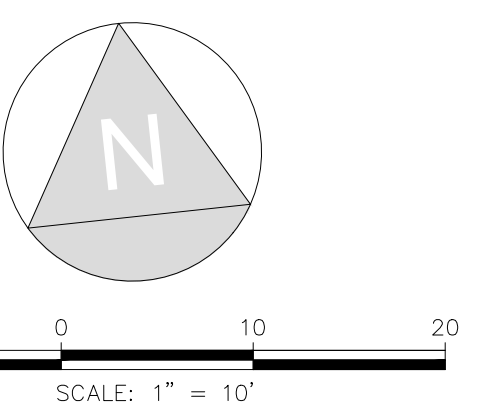
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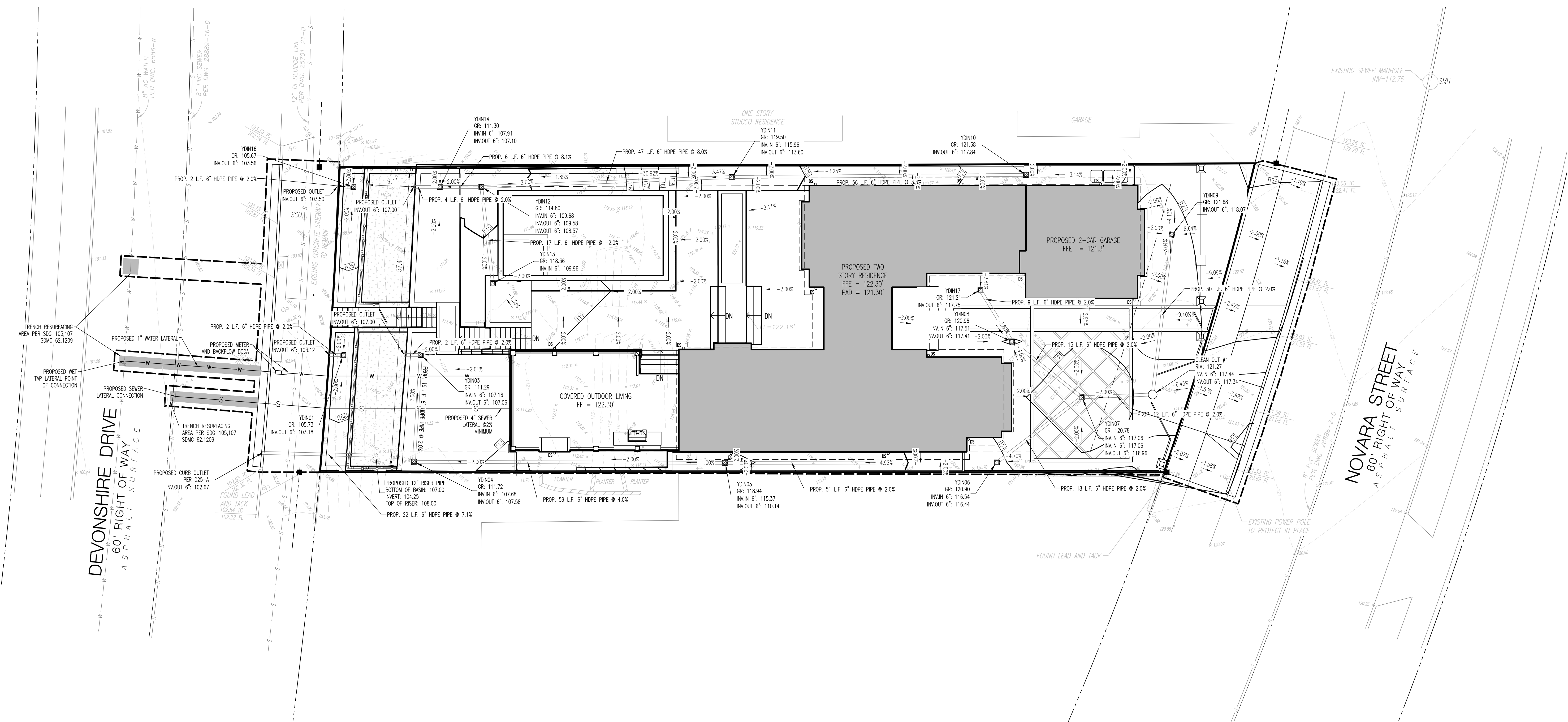
**EARTHWORK CALCULATIONS**

Out(adjusted)(Cu. Yd.)	Fill(adjusted)(Cu. Yd.)	Net(adjusted)(Cu. Yd.)
129.95	240.43	110.48 (import)
MAX CUT HEIGHT (FT): 6.8'		
MAX FILL HEIGHT (FT): 7.9'		



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 Scale (V):

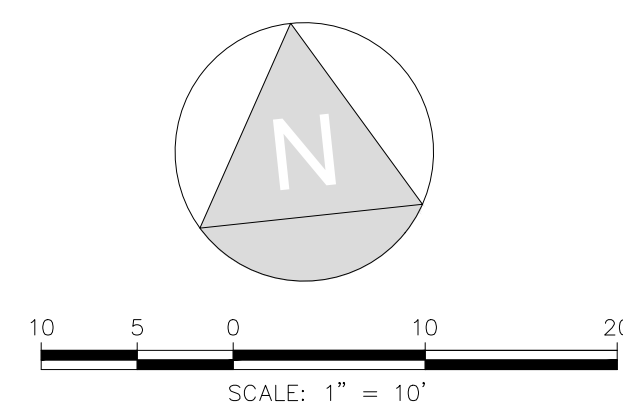




**DRAWING LEGEND**

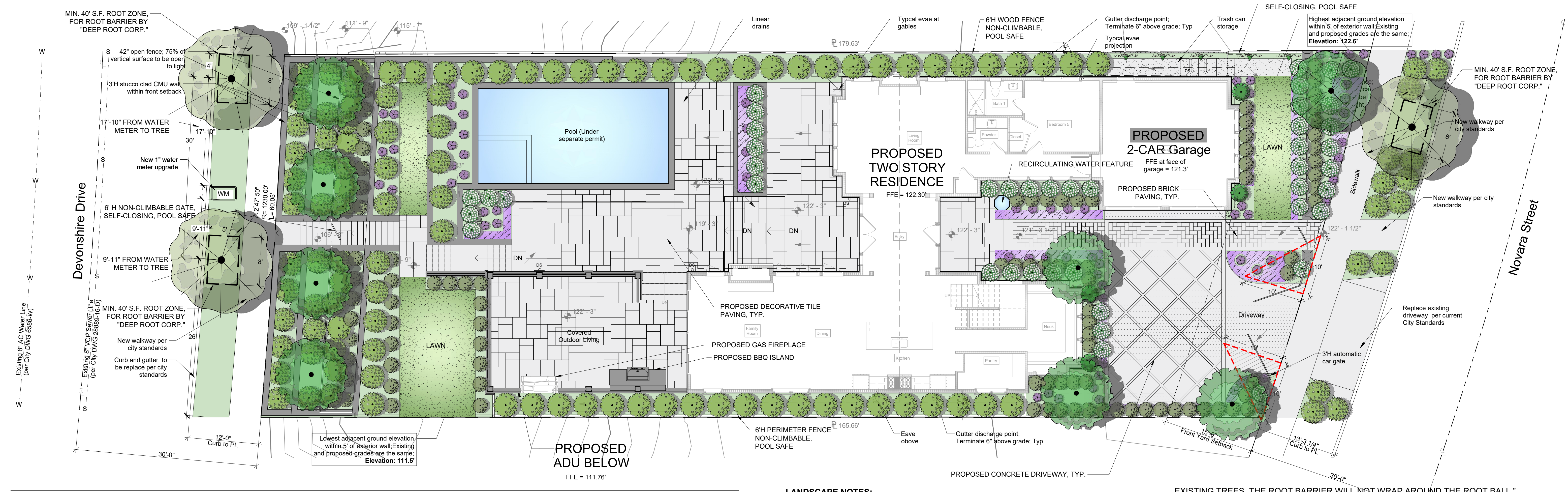
	PROPERTY LINE		BMP AREA
	CENTER LINE		PROPOSED DRIVEWAY CUT
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	DRAINAGE EASEMENT		CONCRETE PAVEMENT OR WALK
	EASEMENT LINE		NEW CURB SPOT ELEVATION
	PROPOSED SEWER LATERAL		NEW SPOT ELEVATION
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**CONCEPT PLANT SCHEDULE**

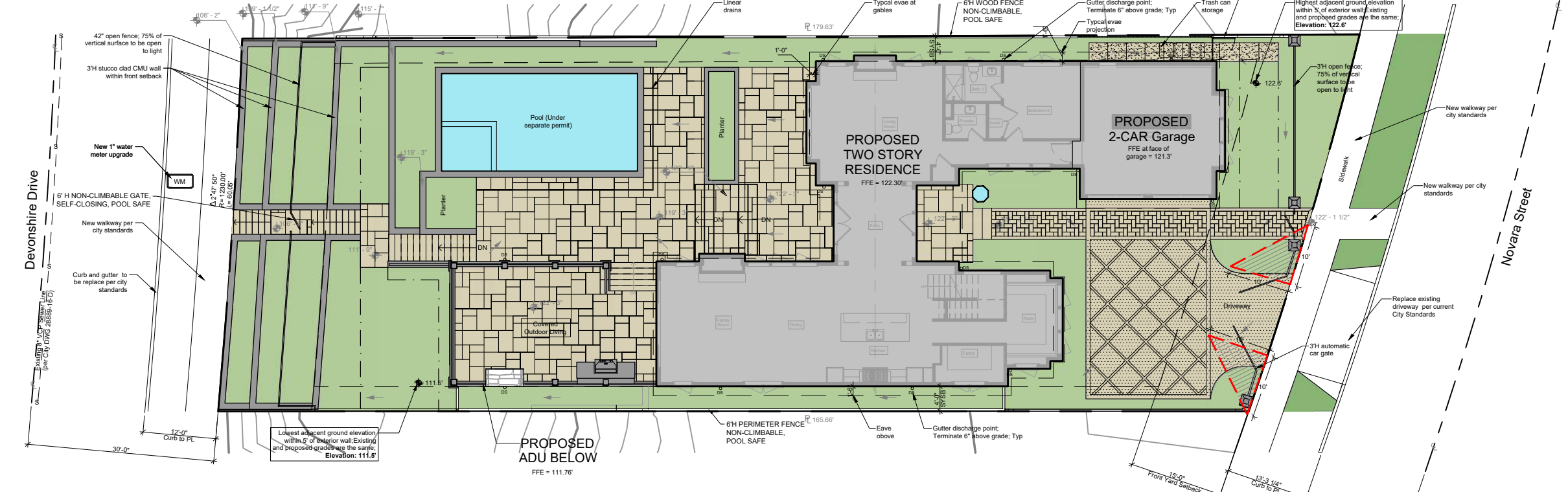
	<b>STREET TREE - 24" BOX MINIMUM, SEPARATED EVERY 30' FT.</b> WULCOBS LOW WATER USE (0.1 - 0.3 ETO) BAUHINIA X BLAKEANA / HONG KONG ORCHID TREE CASSIA LEPTOPHYLLA / GOLD MEDALLION TREE PYRUS CALLERYANA / BRADFORD PEAR	3
	<b>SMALL TREE</b> WULCOBS LOW WATER USE (0.1 - 0.3 ETO) LAGERSTROEMIA INDICA X FAURIEI 'NATCHEZ' / NATCHEZ CRAPE MYRTLE LAURUS NOBILIS / SWEET BAY MULTI-TRUNK OLEA EUROPAEA 'WILSONI' / WILSON FRUITLESS OLIVE MULTI-TRUNK	1
	<b>SMALL ACCENT TREE</b> WULCOBS LOW WATER USE (0.1 - 0.3 ETO) CERCIS CANADENSIS 'FOREST PANSY' / EASTERN REDBUD CERCIS OCCIDENTALIS / WESTERN REDBUD CUPRESSUS SEMPERVIRENS 'TINY TOWERS' / COLUMNAR ITALIAN CYPRESS VITEX TRIFOLIA PURPUREA / PURPLE ARABIAN LILAC	7
	<b>SHRUB-LARGE SCREENING HEDGE</b> WULCOBS LOW WATER USE (0.1 - 0.3 ETO) ACCA SELLOWIANA / PINEAPPLE GUAVA, FEJOA DODONAEA VISCOSA 'PURPUREA' / PURPLE HOPSEED BUSH HETEROMELES ARBUTIFOLIA / TOYON LIGUSTRUM JAPONICUM 'TEXANUM' / TEXAS JAPANESE PRIVET PITTOSPORUM TENUIFOLIUM 'SILVER SHEEN' / SILVER SHEEN TAWHIWHI PODOCARPUS HENKELII / LONG LEAFED YELLOW WOOD PRUNUS CAROLINIANA 'BRIGHT 'N TIGHT' TM / BRIGHT 'N TIGHT CAROLINA LAUREL	54
	<b>SHRUB-TALL COLUMNAR ACCENT SHRUB</b> MEDIUM WATER USE (0.4 - 0.6 ETO) BUXUS SEMPERVIRENS 'GREEN TOWER' / BOXWOOD FICUS LYRATA / FIDDLE LEAF FIG ILEX CRENATA 'SKY PENCIL' / SKY PENCIL JAPANESE HOLLY	4
	<b>SHRUB-MEDIUM HEDGE - 5 GAL.</b> LOW WATER USE (0.1 - 0.3 ETO) LIGUSTRUM JAPONICUM 'TEXANUM' / TEXAS JAPANESE PRIVET OLEA EUROPAEA 'LITTLE OLLIE' TM / LITTLE OLLIE OLIVE RHAPHIOLEPIS UMBELLATA 'MINOR' / YEDDA HAWTHORN ROSMARINUS O. 'COLLINGWOOD INGRAM' / ROSEMARY WESTRINGIA FRUTICOSA 'GREY BOX' / COAST ROSEMARY	91
	<b>SHRUB-MEDIUM</b> MEDIUM WATER USE (0.4 - 0.6 ETO) BUXUS MICROPHYLLA JAPONICA / JAPANESE BOXWOOD GARDENIA JASMINOIDES 'LEEONE' / JUBILATION™ GARDENIA HYDRANGEA MACROPHYLLA 'SISTER THERESA' / HYDRANGIA PHILODENDRON XANADU / XANADU PHILODENDRON POLYGALA FRUTICOSA 'PETITE BUTTERFLY' / SWEET PEA SHRUB ROSA FLORIBUNDA 'ICEBERG' / ICEBERG ROSE ROSA 'CECILE BRUNNER' / CLIMBING ROSE	41
	<b>SHRUB-SMALL ACCENT - 1 GAL.</b> LOW WATER USE (0.1 - 0.3 ETO) DICHONDRA ARGENTEA 'SILVER FALLS' / DICHONDRA DIETES GRANDIFLORA / FORTNIGHT LILY GAURA LINDHEIMERI 'WHIRLING BUTTERFLIES' / GAURA LAVANDULA DENTATA 'GOODWIN CREEK GRAY' / GOODWIN CREEK GRAY LAVENDER LAVANDULA STOECHAS 'OTTO QUAST' / SPANISH LAVENDER LOMANDRA L. 'PLATINUM BEAUTY' / VARIEGATED MAT RUSH PHORMIUM X 'GOLDEN RAY' / FLAX SALVIA LEUCANTHA 'SANTA BARBARA' / MEXICAN SAGE TEUCRIUM X LUCIDRYS PROSTRATUM / GERMANDER	74
	<b>SHRUB-LOW MOUNDING - 1 GAL.</b> LOW WATER USE (0.1 - 0.3 ETO) BACCHARIS PILULARIS 'PIGEON POINT' / COYOTE BRUSH BOUGAINVILLEA 'JAMAICA WHITE' / BOUGAINVILLEA CARISSA MACROCARPA 'GREEN CARPET' / NATAL PLUM COPROSMA KIRKII / CREEPING MIRROR PLANT LANTANA MONTEVIDENSIS 'PURPLE' / PURPLE LANTANA PITTOSPORUM TENUIFOLIUM 'GOLF BALL' / GOLF BALL TAWHIWHI ROSMARINUS OFFICINALIS 'PROSTRATUS' / DWARF ROSEMARY WESTRINGIA F. 'MUNDII' / COAST ROSEMARY	59
	<b>VINE - 15 GAL.</b> MEDIUM WATER USE (0.4 - 0.6 ETO) BOUGAINVILLEA X 'JAMAICA WHITE' / JAMAICA WHITE BOUGAINVILLEA PANDOREA JASMINOIDES 'LADY DI' / LADY DI BOWER VINE ROSA X 'CECILE BRUNNER' / CECILE BRUNNER CLIMBING ROSE TRACHELOSPERMUM JASMINOIDES / STAR JASMINE TRELLIS	5
	<b>GROUNDCOVER</b> WULCOBS LOW WATER USE (0.1 - 0.3 ETO) ARCTOTIS X 'PINK SUGAR' / PINK SUGAR AFRICAN DAISY ARMERIA MARITIMA / SEA THRIFT CONVOLVULUS SABATIUS / GROUND MORNING GLORY DYMONDIA MARGARETAE / SILVER CARPET DYMONDIA ERIGERON KARVINSKIANUS / FLEABANE GERANIUM SANGUINEUM / BLOODRED GERANIUM STACHYS BYZANTINA 'SILVER CARPET' / SILVER CARPET LAMB'S EARS THYMUS VULGARIS / COMMON THYME	269 SF
	<b>LAWN</b> WULCOBS MODERATE WATER USE (0.4 - 0.6 ETO) CYNODON DACTYLON X TRANSVAALENSIS 'TIFTUF' / TIFDWARF BERMUDAGRASS PASPALUM VAGINATUM 'ALOHA' / SEASHORE PASPALUM	520 SF

**LANDSCAPE NOTES:**

- "IF ANY REQUIRED LANDSCAPE INDICATED ON THE APPROVED CONSTRUCTION DOCUMENT PLANS IS DAMAGED OR REMOVED, IT SHALL BE REPAIRED AND/OR REPLACED IN KIND AND EQUIVALENT SIZE PER THE APPROVED DOCUMENTS TO THE SATISFACTION OF THE DEVELOPMENT SERVICES DEPARTMENT WITHIN 30 DAYS OF DAMAGE."
- "EXISTING TREES TO REMAIN ON SITE WITHIN THE AREA OF WORK WILL BE PROTECTED IN PLACE. THE FOLLOWING PROTECTION MEASURES WILL BE PROVIDED:
  - A BRIGHT YELLOW OR ORANGE TEMPORARY FENCE WILL BE PLACED AROUND EXISTING TREES AT THE DRIP LINE.
  - STOCKPILING, TOPSOIL DISTURBANCE, VEHICLE USE, AND MATERIAL STORAGE OF ANY KIND IS PROHIBITED WITHIN THE DRIP LINE.
  - A TREE WATERING SCHEDULE WILL BE MAINTAINED AND DOCUMENTED DURING CONSTRUCTION.
  - ALL DAMAGED TREES WILL BE REPLACED WITH ONE OF EQUAL OR GREATER SIZE."
- "ALL PRUNING SHALL COMPLY WITH THE STANDARDS OF THE AMERICAN NATIONAL STANDARDS INSTITUTE ANSI FOR TREE CARE OPERATIONS AND THE INTERNATIONAL SOCIETY OF ARBORICULTURE ISA FOR TREE PRUNING PER SDMC 142.0403(B)(8). TOPPING OF TREES IS NOT PERMITTED."
- "TREES SHALL BE MAINTAINED SO THAT ALL BRANCHES OVER PEDESTRIAN WALKWAYS ARE 6 FEET ABOVE THE WALKWAY GRADE AND BRANCHES OVER VEHICULAR TRAVEL WAYS ARE 16 FEET ABOVE THE GRADE OF THE TRAVEL WAY PER THE SDMC 142.0403(B)(11)."
- "TREE ROOT BARRIERS SHALL BE INSTALLED WHERE TREES ARE PLACED WITHIN 5 FEET OF PUBLIC IMPROVEMENTS INCLUDING WALKS, CURBS, OR STREET PAVEMENTS OR WHERE NEW PUBLIC IMPROVEMENTS ARE PLACED ADJACENT TO

EXISTING TREES. THE ROOT BARRIER WILL NOT WRAP AROUND THE ROOT BALL." PLEASE CLEARLY IDENTIFY THE INSTALLATION OF ROOT BARRIERS IN THE LOCATIONS SUBJECT TO THESE CONDITIONS PER 142.0403(B).

- "A MINIMUM ROOT ZONE OF 40SF IN AREA SHALL BE PROVIDED FOR ALL TREES. THE MINIMUM DIMENSION FOR THIS AREA SHALL BE FEET, PER SDMC 142.0403(B)(6)."
- "MULCH: ALL REQUIRED PLANTING AREAS AND ALL EXPOSED SOIL AREAS WITHOUT VEGETATION SHALL BE COVERED WITH MULCH TO A MINIMUM DEPTH OF 3 INCHES PER SDMC 142.0413(C), EXCLUDING SLOPES REQUIRING REVEGETATION PER SDMC 142.0411."
- "MAINTENANCE: ALL REQUIRED LANDSCAPE AREAS SHALL BE MAINTAINED BY OWNER. LANDSCAPE AND IRRIGATION AREAS IN THE PUBLIC RIGHT-OF-WAY SHALL BE MAINTAINED BY OWNER. THE LANDSCAPE AREAS SHALL BE MAINTAINED FREE OF DEBRIS AND LITTER, AND ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION. DISEASED OR DEAD PLANT MATERIAL SHALL BE SATISFACTORILY TREATED OR REPLACED PER THE CONDITIONS OF THE PERMIT."
- "ALL LANDSCAPE AND IRRIGATION SHALL CONFORM TO THE STANDARDS OF THE CITY-WIDE LANDSCAPE REGULATIONS AND THE CITY OF SAN DIEGO LAND DEVELOPMENT MANUAL LANDSCAPE STANDARDS AND ALL OTHER LANDSCAPE RELATED CITY AND REGIONAL STANDARDS."
- "IRRIGATION: AN AUTOMATIC, ELECTRICALLY CONTROLLED IRRIGATION SYSTEM SHALL BE PROVIDED AS REQUIRED BY LDC 142.0403(C) FOR PROPER IRRIGATION, DEVELOPMENT, AND MAINTENANCE OF THE VEGETATION IN A HEALTHY, DISEASE-RESISTANT CONDITION. THE DESIGN OF THE SYSTEM SHALL PROVIDE ADEQUATE SUPPORT FOR THE VEGETATION SELECTED." ALSO, INDICATE THE TYPE(S) OF IRRIGATION SYSTEM(S) PROPOSED; I.E. SPRAY, DRIP, ETC.

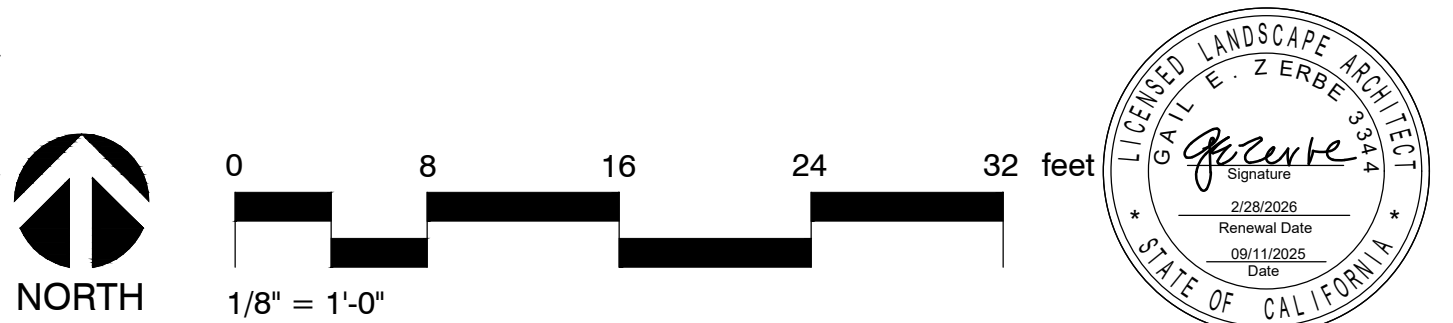


**LANDSCAPE DIAGRAM**

SCALE: 1" = 20'-0"

**LANDSCAPE CALCULATION SCHEDULE**

COLOR	DESCRIPTION	AREA	PERCENTAGE
[Grey]	BUILDING FOOTPRINT	- 2,756 SF	(26.5%)
[Blue]	POOL / WATER FEATURE AREA	- 495 SF	(5%)
[Brown]	HARDSCAPE AREA	- 3,462 SF	(33%)
[Green]	PLANTING AREA	- 3,703 SF	(35.5%)
[Light Green]	RIGHT OF WAY AREA	- 263 SF	
<b>TOTAL SITE:</b>		<b>10,416 SF</b>	<b>(100%)</b>



**TABLE 142-04E**

MINIMUM TREE SEPARATION DISTANCE IMPROVEMENT	MINIMUM DISTANCE TO STREET TREE
TRAFFIC SIGNALS (STOP SIGNS)	20 FEET
UNDERGROUND UTILITY LINES	5 FEET (10 FEET FOR SEWER)
ABOVE GROUND UTILITY STRUCTURES	10 FEET
DRIVEWAY ENTRIES	10 FEET
INTERSECTIONS (INTERSECTING CURB LINES OF TWO STREETS)	25 FEET

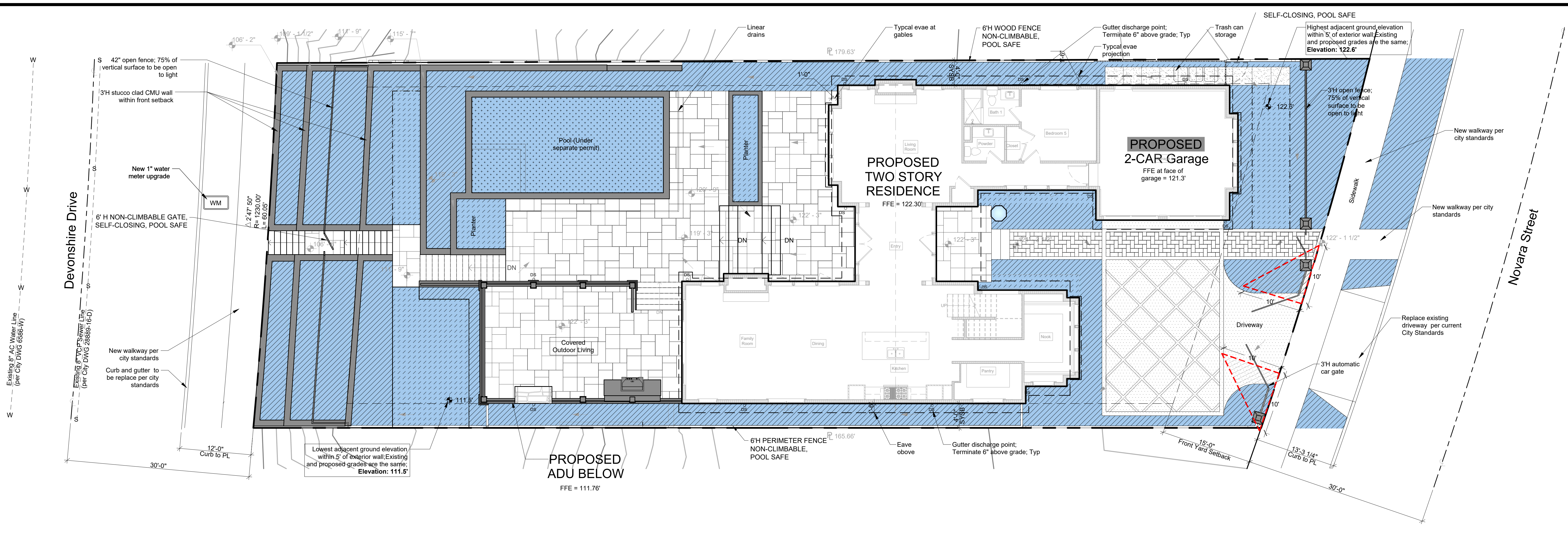
**FOOTNOTE FOR TABLE 142-04E**  
 FIVE FEET ON RESIDENTIAL LOCAL STREETS WITH DESIGN SPEED OF 25 MILES PER HOUR OR SLOWER.

**STREET TREES**

STREET TREES (in Public Right-of-Way):	REQUIRED:	PROVIDED:
Length of Street Frontage (less driveways/curb cuts):	Novara Street	25 feet
Street Trees	1 (1 per every 30 feet)	1

IF THIS DOES NOT MEASURE 1" ACTUAL, THIS DRAWING MAY HAVE BEEN ENLARGED OR REDUCED, AND ALL LABELED SCALES ARE INCORPORATED.





**City of San Diego Water Budget Calculations**

Project: CARTER RESIDENCE  
 Date: 5/29/2025

**1. MAXIMUM APPLIED WATER ALLOWANCE (MAWA) WATER BUDGET CALCULATION**  
 Residential MAWA =  $[(Eto)(0.62)] [(0.55)(LA) + (0.45)(SLA)]$

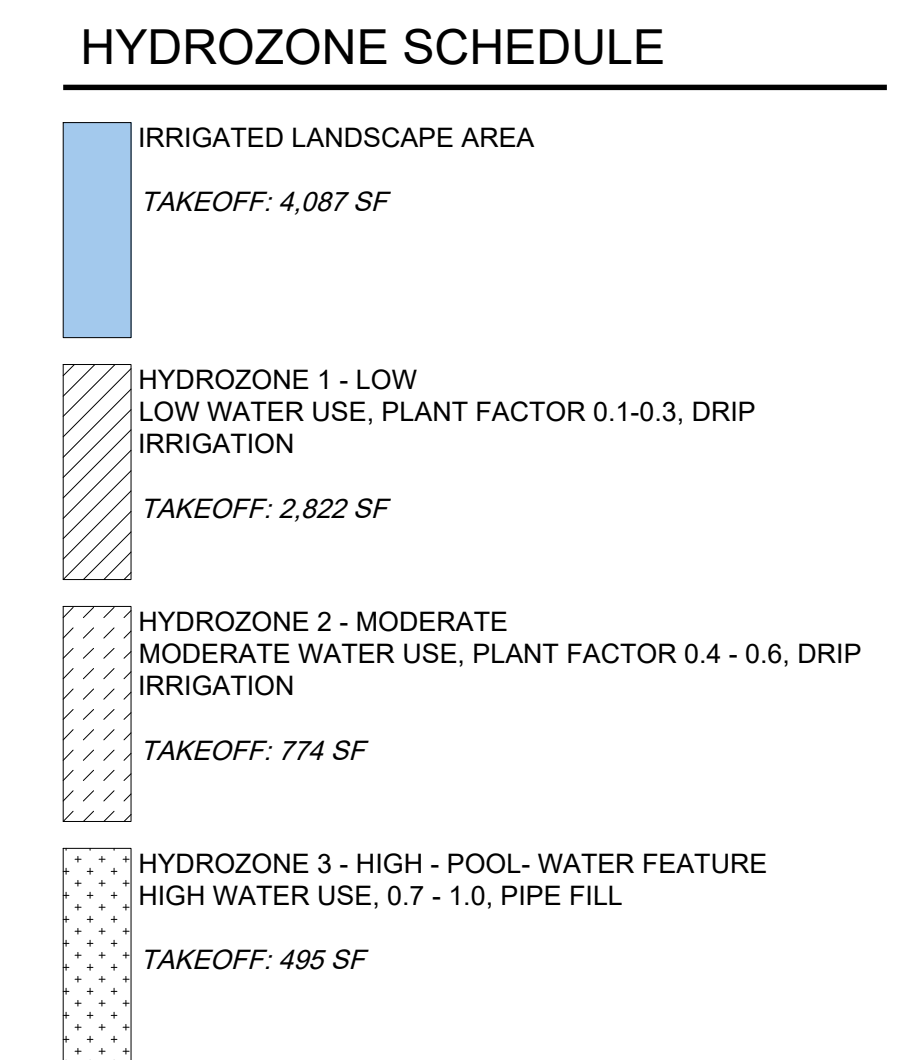
							Result in
Controller No.	Eto	(0.62)	PF	LA	PF	SLA	Gallons per Year
NA	40	0.62	0.55	4,091.00	0.45	0	55,801
<b>Total MAWA gallons per year:</b>							<b>55,801</b>

**2. SYSTEM CONTROLLER INFORMATION TABLE**

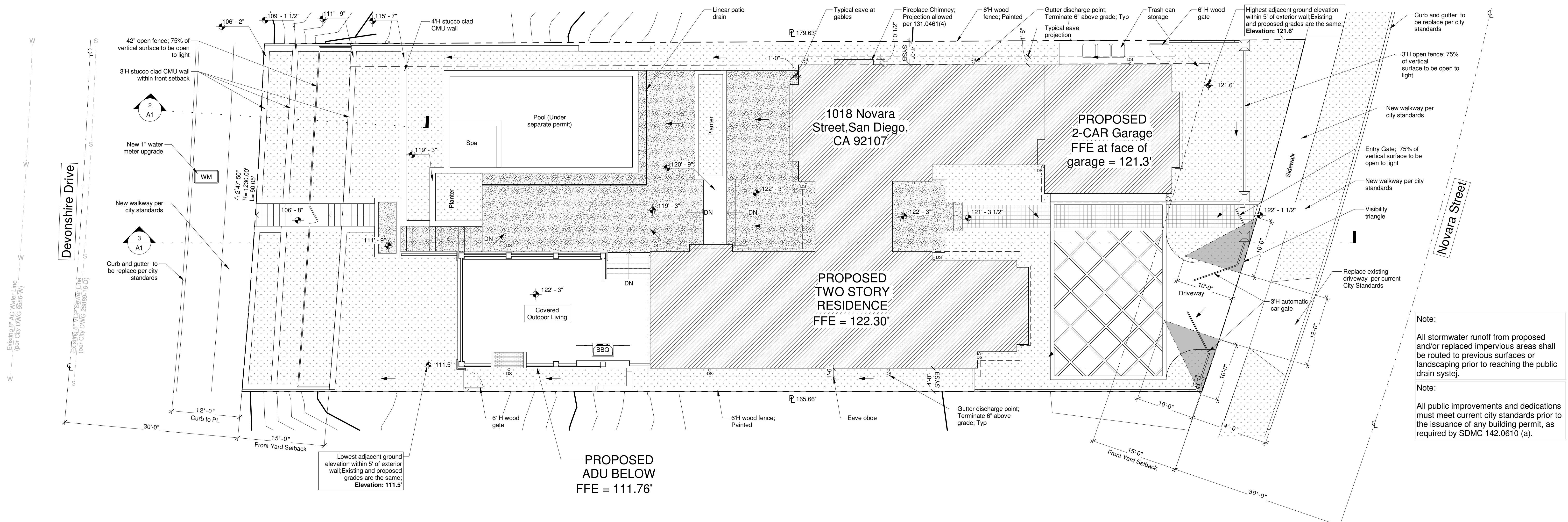
Controller No.	Hydrozone No.	Valve Circuit	Plant Factor (PF)	Hydrozone Area in s.f. (HA)	Irrigation Method	Irrigation Efficiency (IE)	% Total Landscape Area
NA	1	NA	0.3	2,822.00	DRIP	0.81	0.69
NA	2	NA	0.6	774.00	SPRAY	0.75	0.19
NA	5	NA	1	495.00	POOL	1	0.12
				<b>4,091.00 S.F.</b>			<b>100%</b>

**3. ESTIMATED TOTAL WATER USE (ETWU) CALCULATIONS**  
 ETWU =  $[(Eto)(0.62)] [(PF X HA) / IE + SLA]$

							Result in
Hydrozone No.	Eto	(0.62)	PF	HA	IE	SLA	Gallons per Year
1	40	0.62	0.30	2,822.00	0.81	NA	25,921
2	40	0.62	0.60	774.00	0.75	NA	15,356
5	40	0.62	1.00	495.00	1	NA	12,276
				<b>T. S.F.: 4,091.00 S.F.</b>			<b>53,553</b>
<b>Total ETWU gallons per year:</b>							<b>53,553</b>

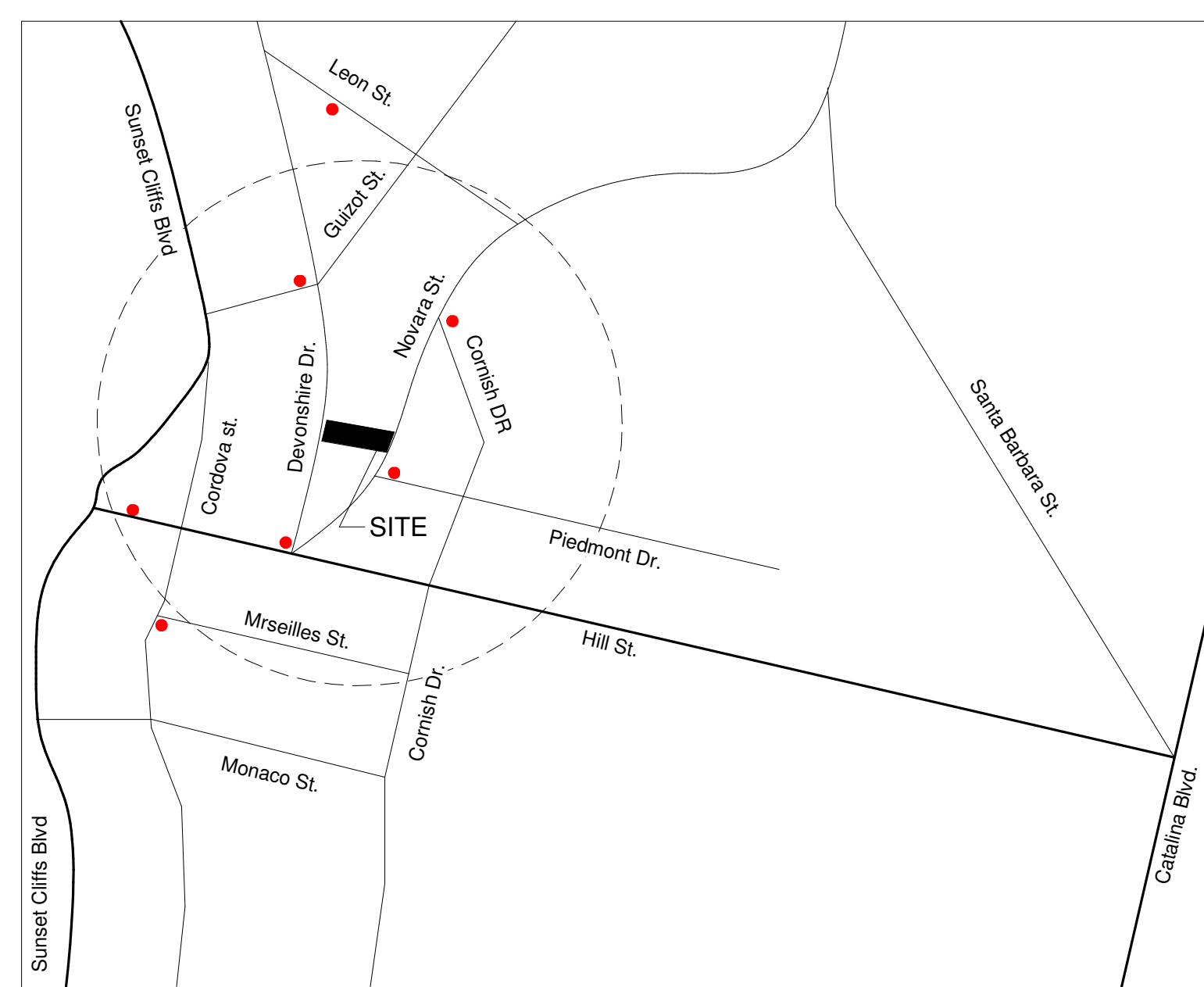


IF THIS DOES NOT MEASURE 1" ACTUAL, THIS DRAWING MAY HAVE BEEN ENLARGED OR REDUCED, AND ALL LABELED SCALES ARE INCORRECT.



**1 Plot Plan**  
1/8" = 1'-0"

**Fire Hydrant Location**



**Easement Notes**

- There are no existing easements on the parcel
- No new easements are proposed for the development

**Front Yard Hardscape Calculations**

SDMC 131.0447(a)

**Novara Street Calculations:**

Front Yard Area: 949 SF  
Hardscape Area: 376 SF

376 SF / 949 SF = 39.6%

**Devonshire Dr. Calculations:**

Front Yard Area: 901 SF  
Hardscape Area: 226 SF

226 SF / 901 SF = 23.8%

**Earthwork Calculations:**

Cut (adjusted)(Cu. Yd.)  
129.95

Fill (adjusted)(Cu. Yd.)  
240.43

Net (adjusted)(Cu. Yd.)  
110.48

Max Cut Height: 6.8'  
Max Fill Height: 7.9'

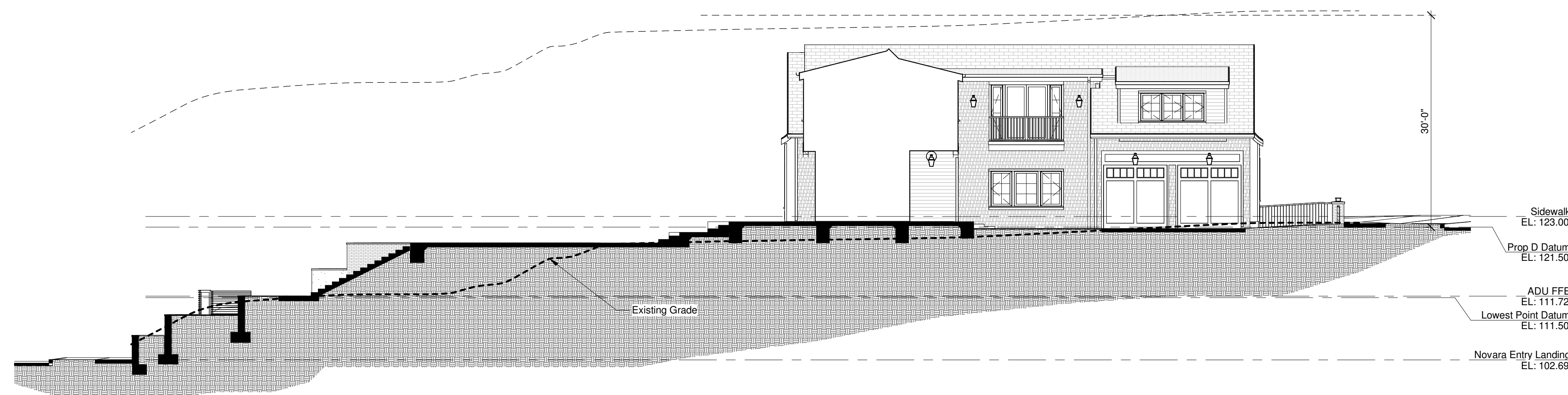
**Lot Coverage**

**Lot Coverage: 32.9%**  
(3,430 sq. ft. / 10,416 sq. ft.)

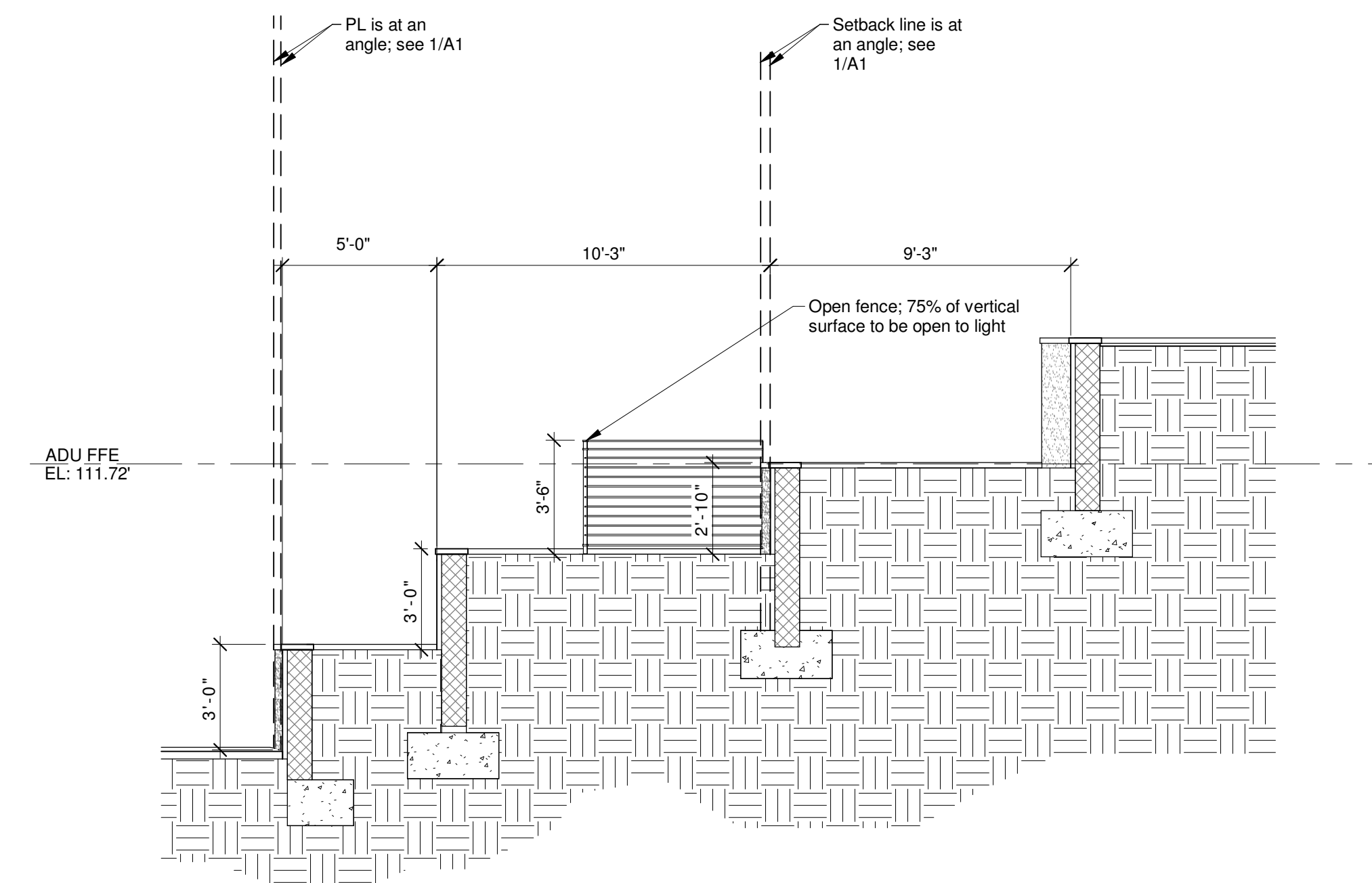
**Legend**

- Concrete
- Landscaping
- Natural Stone Tile
- Permeable Pavers
- Slope Direction
- Downspout Discharge

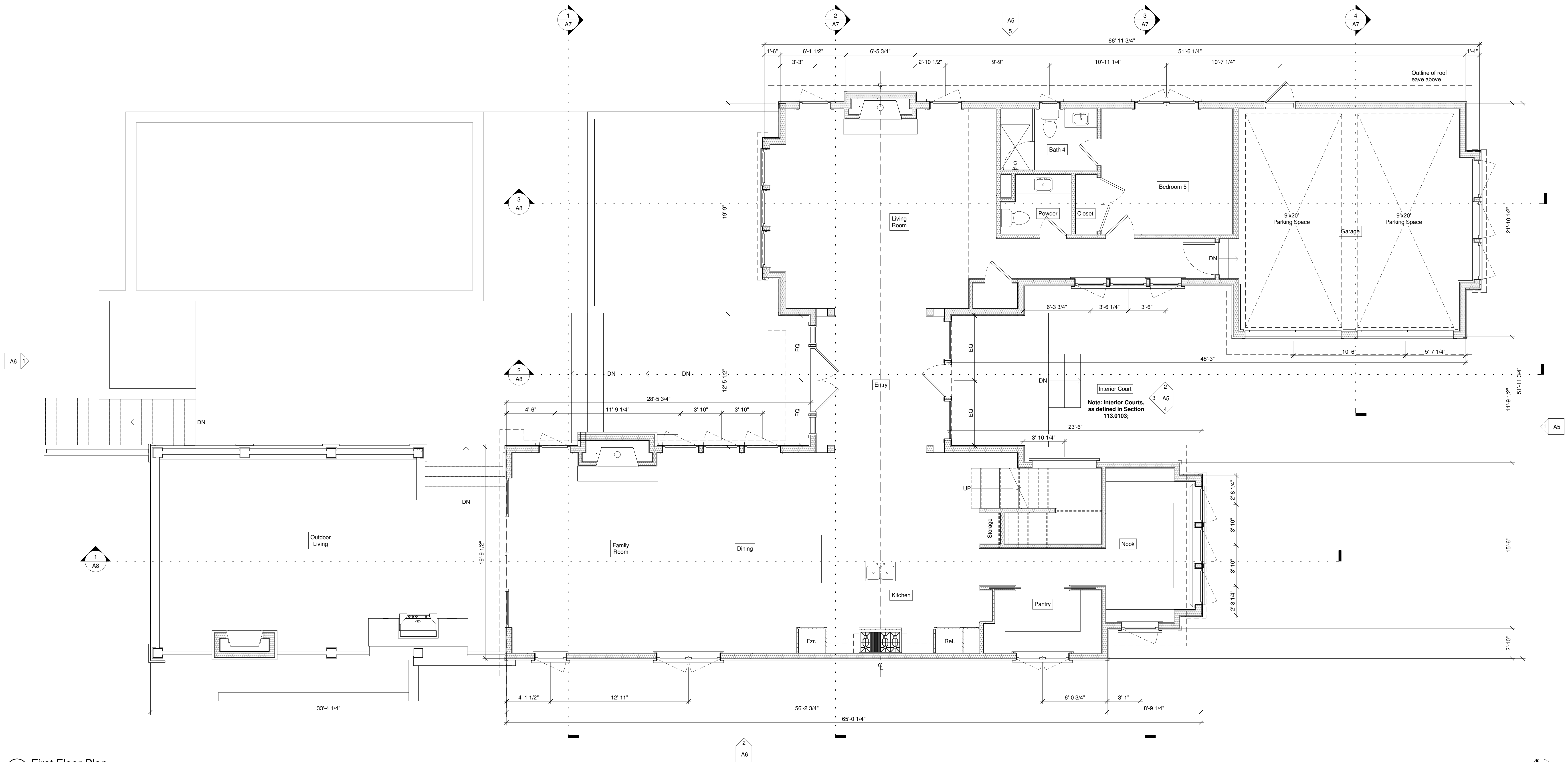
**3 Site Section**  
3/32" = 1'-0"



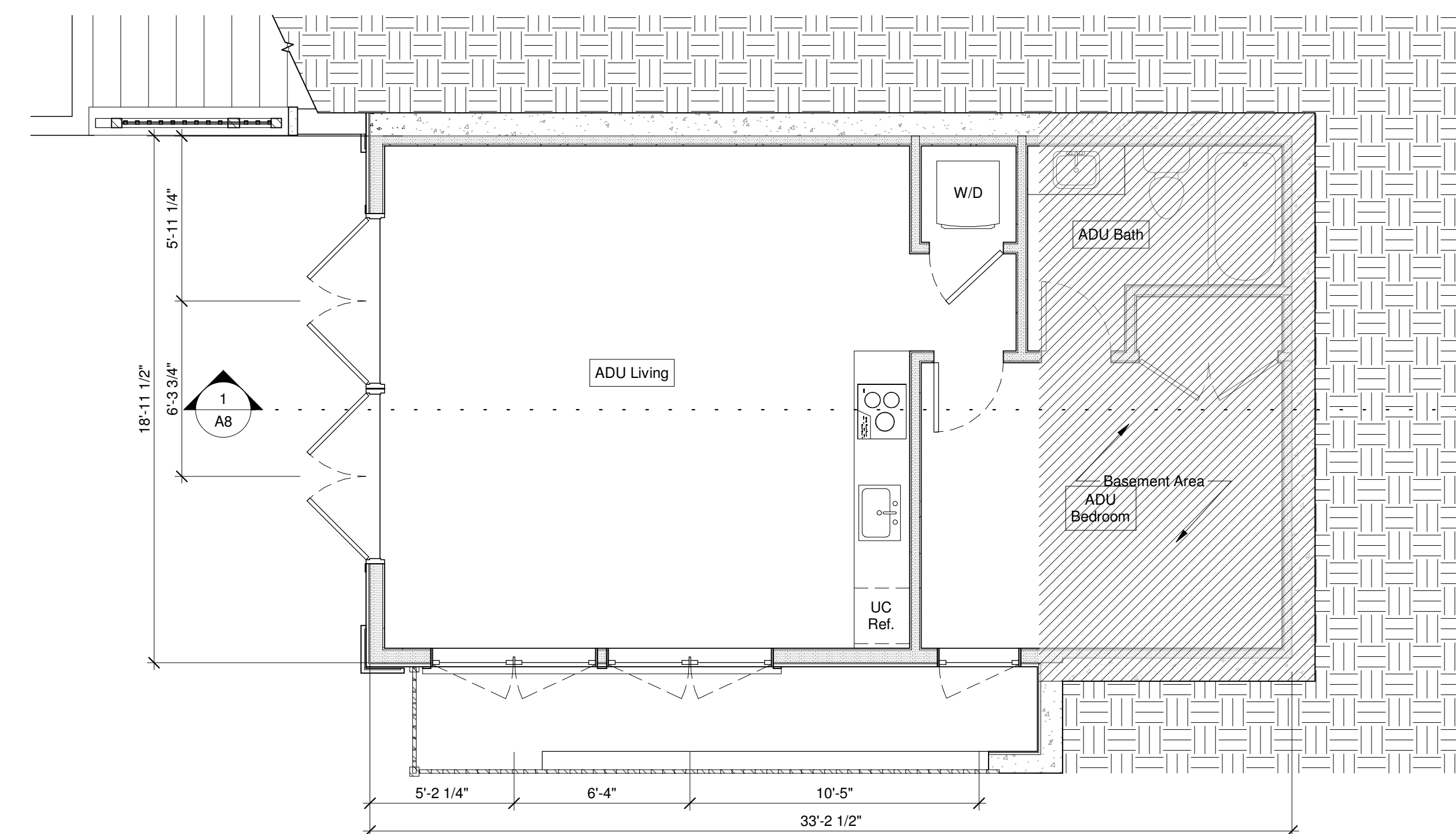
**2 Retaining Wall Section**  
1/4" = 1'-0"



revision	date	notes



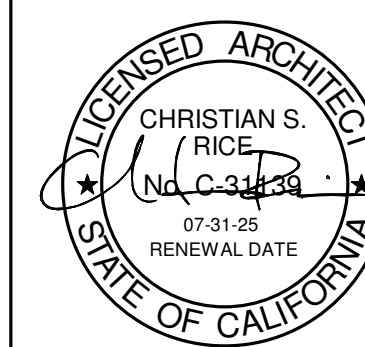
1 First Floor Plan  
1/4" = 1'-0"



2 ADU Floor Plan  
1/4" = 1'-0"

Carter Residence  
1016 Novara Street, San Diego, CA 92107

christian rice architects, inc.  
1127 loma ave, coronado, ca 92118 p 619.522.9040



drawn by:  
HA  
drawing date:  
June 10, 2025

revision	date	notes

First Floor and ADU  
Plan

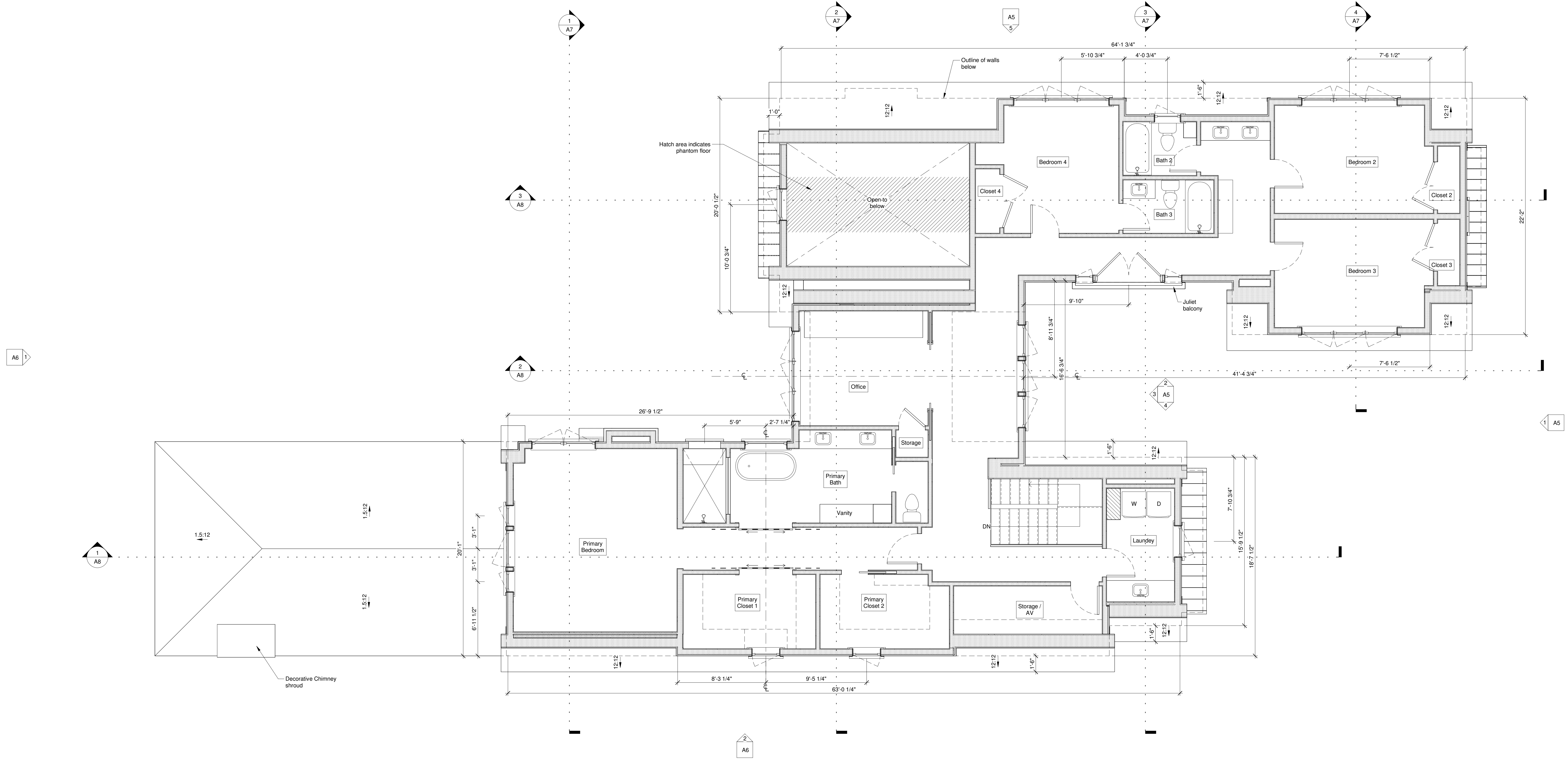
A2

Project

Architect

Sheet Title

Drawing Number



1 Second Floor Plan  
1/4" = 1'-0"

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drawing date:  
June 10, 2025

revision	date	notes

Second Floor Plan

A3

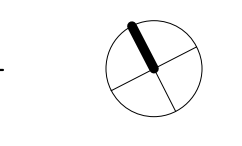
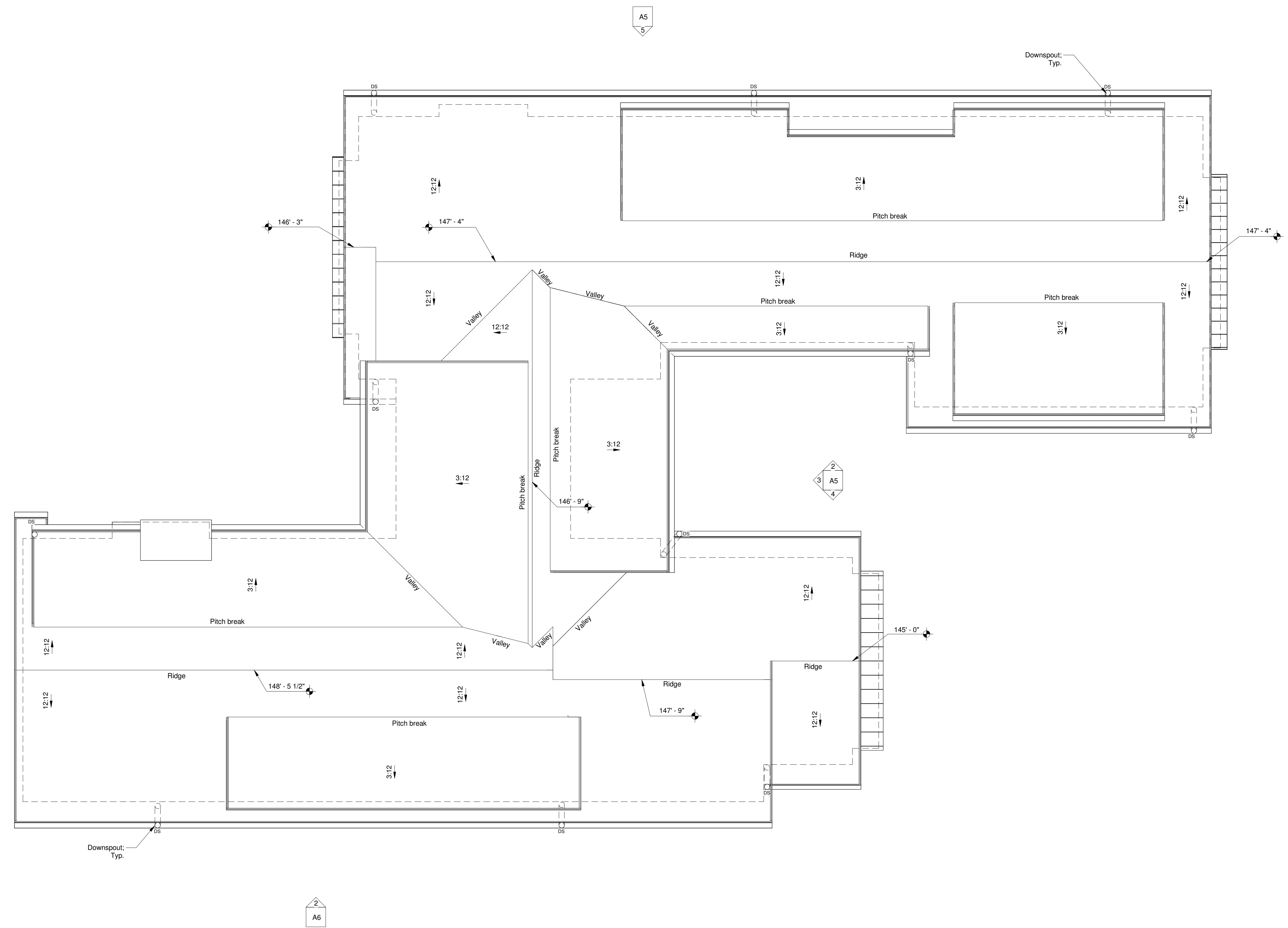
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Architect:

Sheet Title:

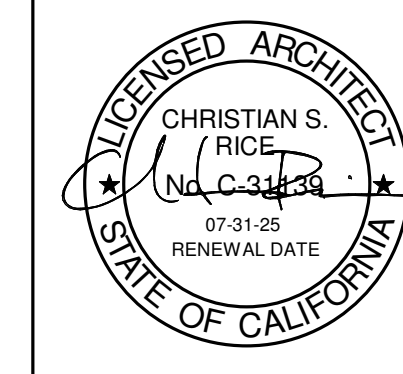
Drawing number:

1 Roof Plan  
1/4" = 1'-0"



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**HA**  
drawing date:  
**June 10, 2025**

revision	date	notes

**Roof Plan**

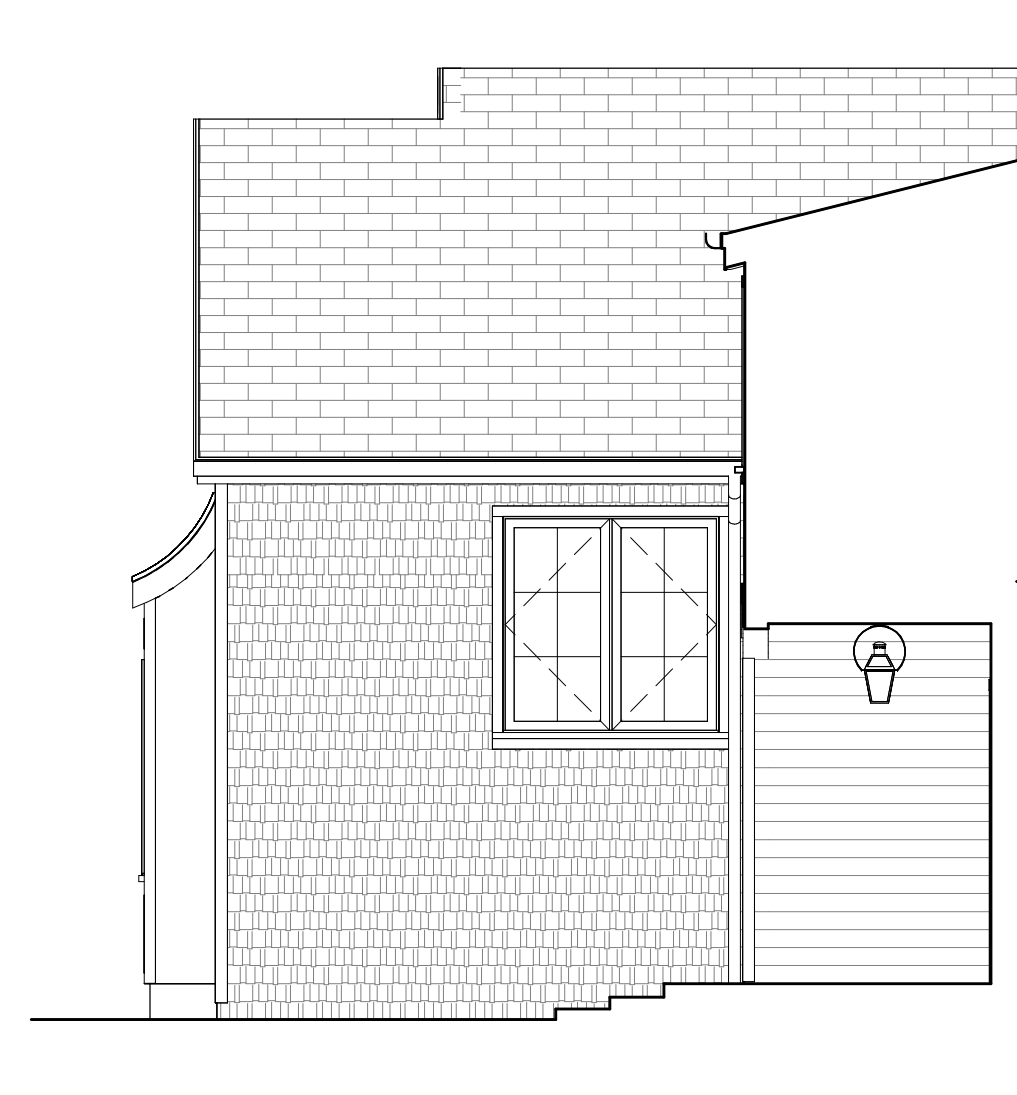
**A4**

Project:

Architect:

Sheet title:

Drawing number:



4 South Elevation (Entry Court)  
3/16" = 1'-0"



2 North Elevation (Entry Court)  
3/16" = 1'-0"

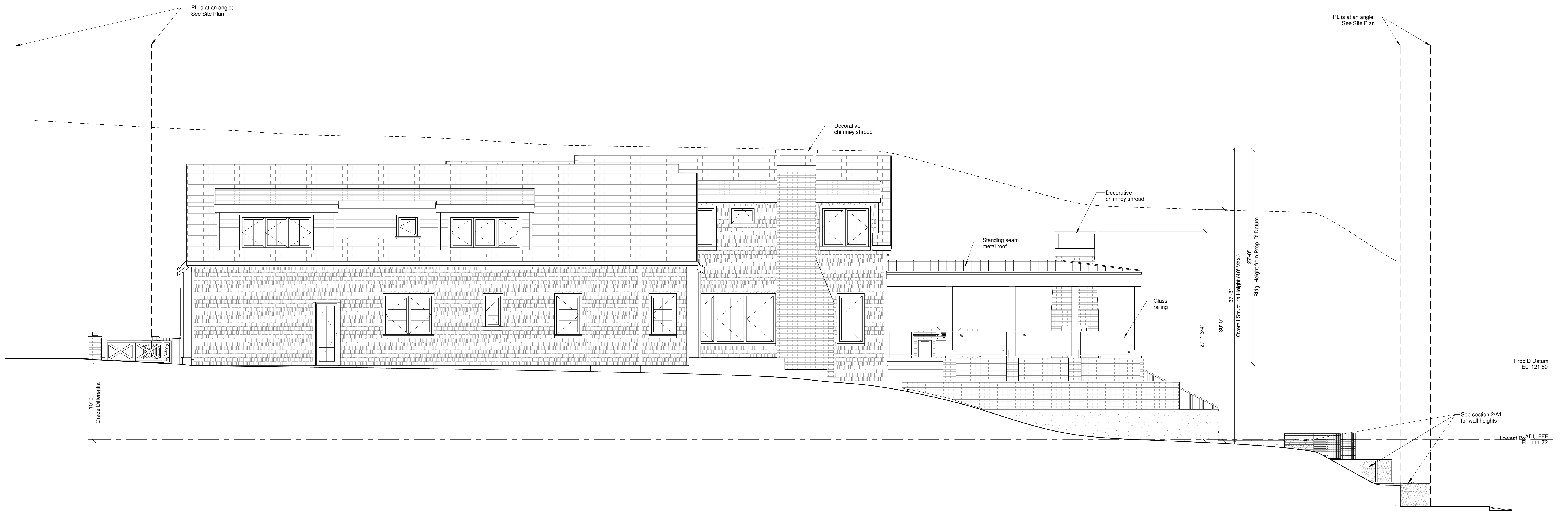


3 East Elevation (Entry Court)  
3/16" = 1'-0"



1 East Elevation (Front)  
3/16" = 1'-0"

- Legend**
- Shingle
  - Horizontal Siding
  - Brick Veneer



5 North Elevation (Side)  
3/16" = 1'-0"

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June 10, 2025

revisions:	date	notes

Building Elevations

A5

Project:

Architect:


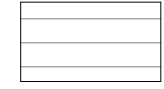
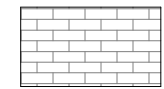
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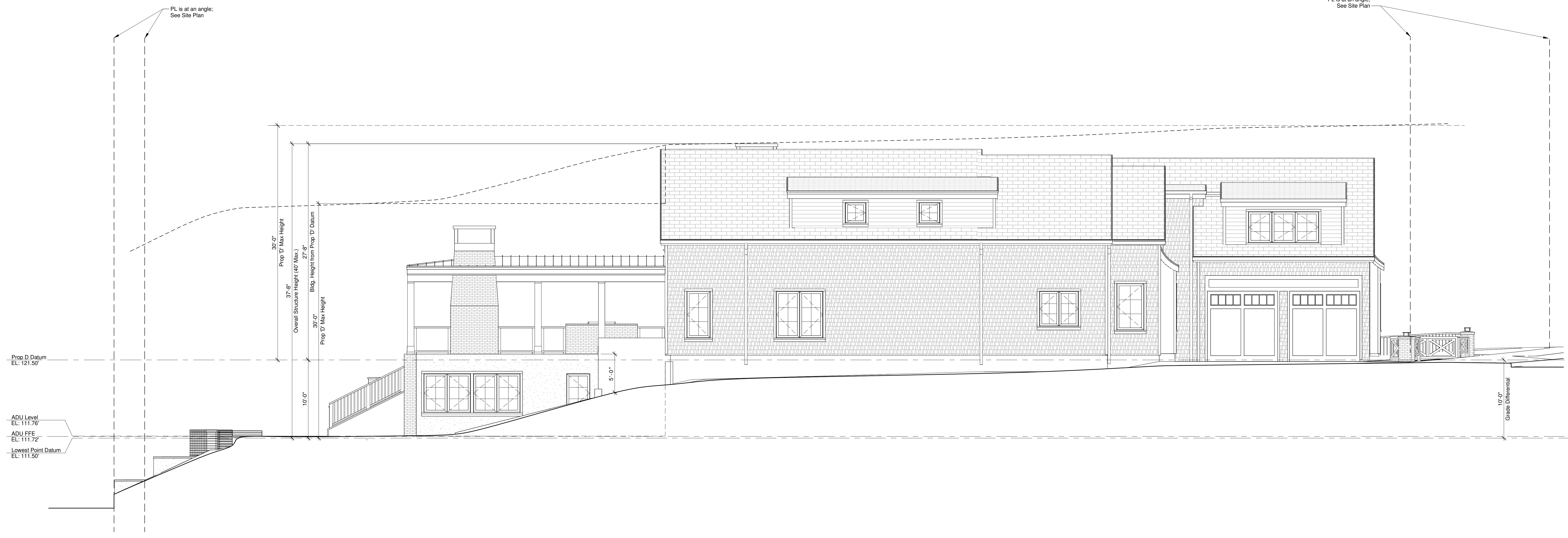
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1 West Elevation (Rear)  
3/16" = 1'-0"

Legend

-  Shingle
-  Horizontal Siding
-  Brick Veneer



2 South Elevation (Side)  
3/16" = 1'-0"

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revision	date	notes

Building Elevations

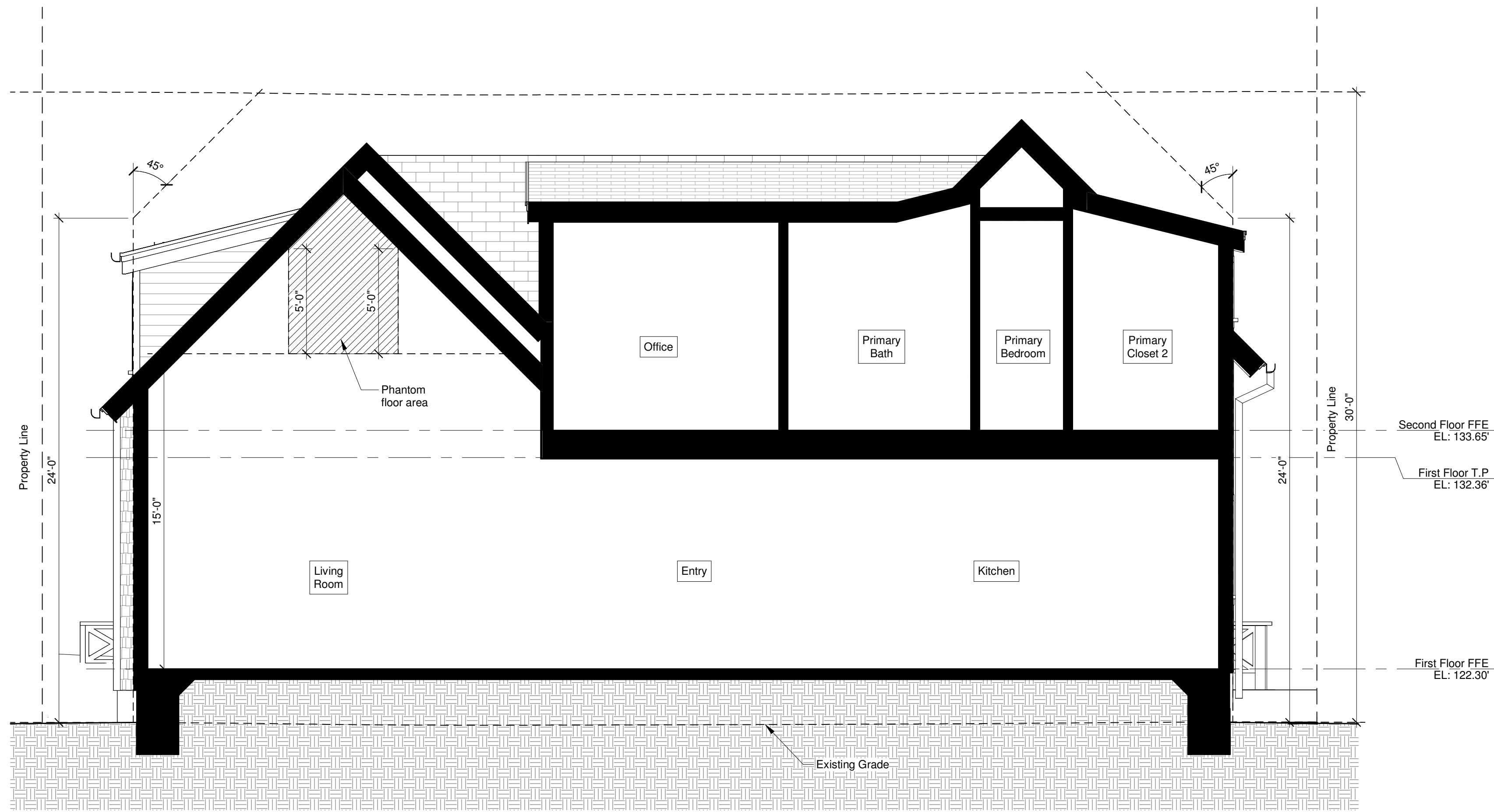
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Project:

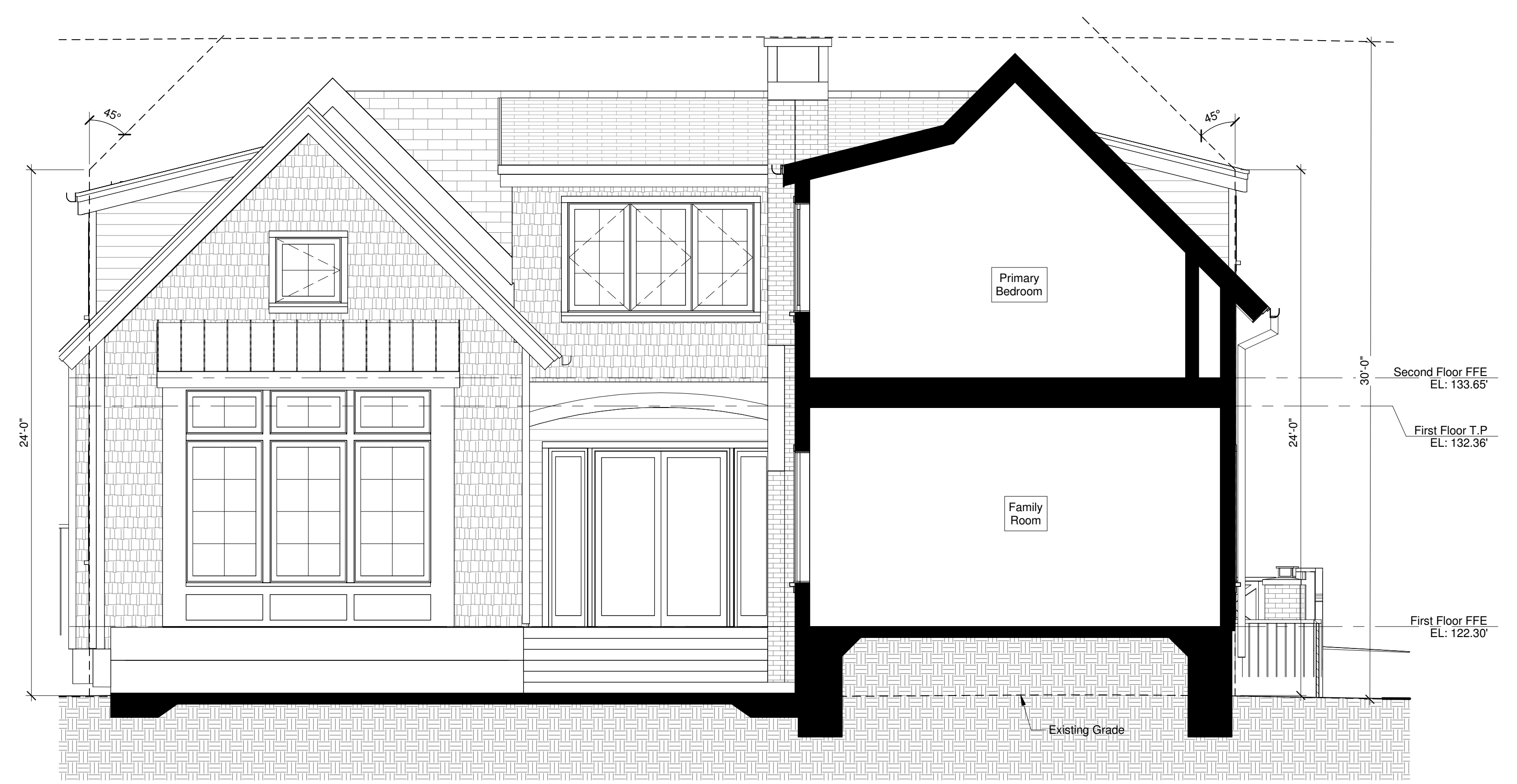
architect:

Sheet Title:

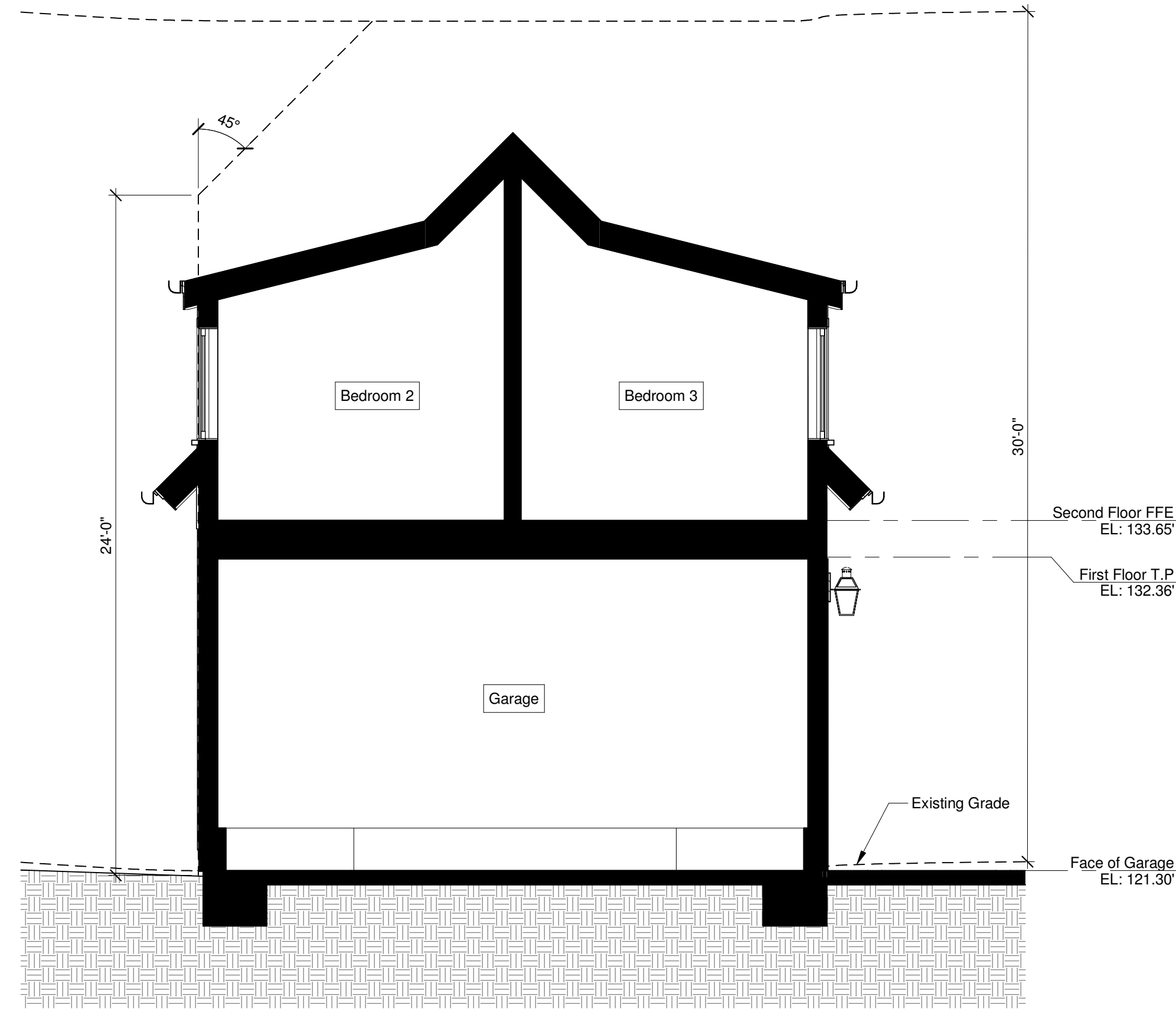
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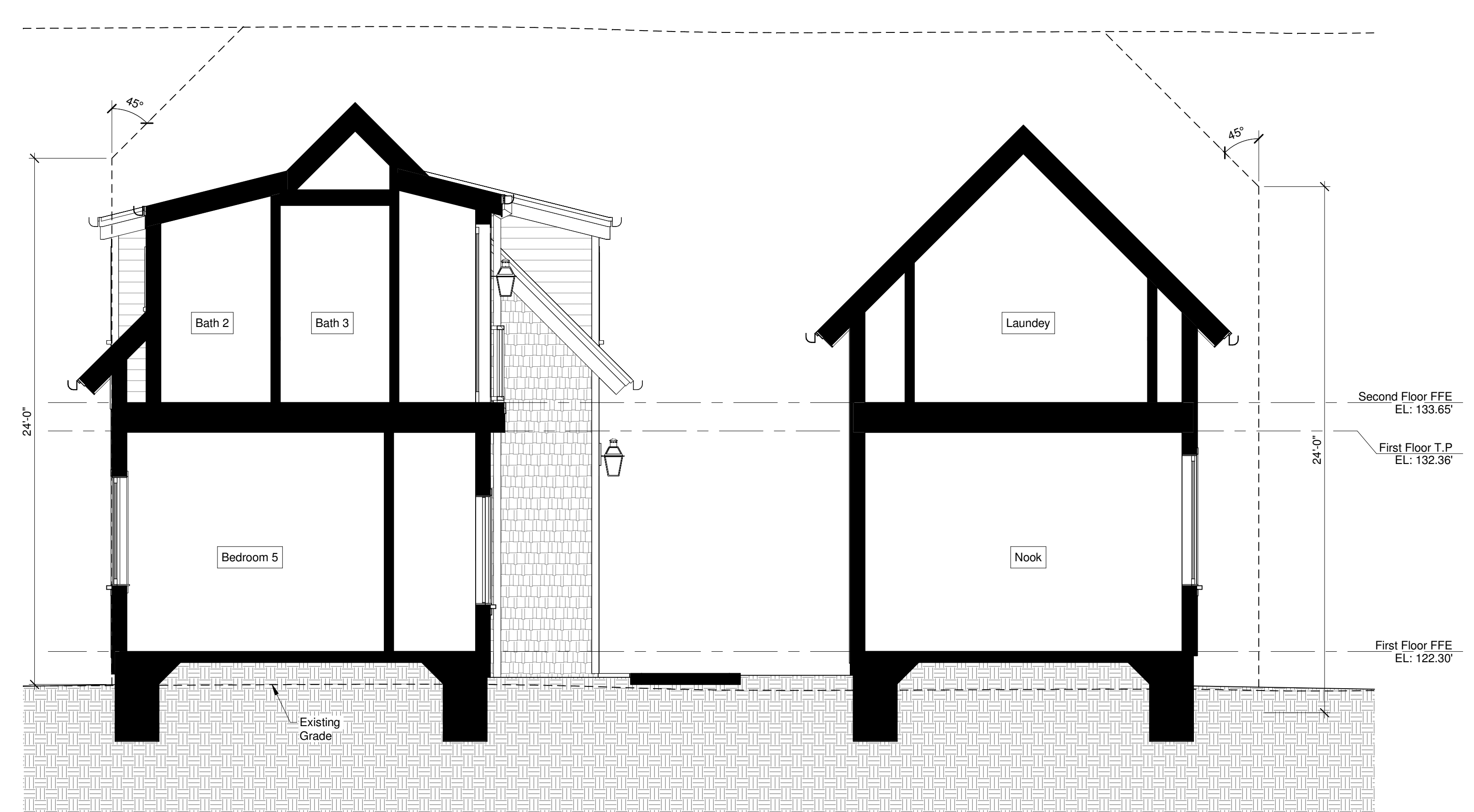
2 Building Section  
1/4" = 1'-0"



1 Building Section  
1/4" = 1'-0"



4 Building Section  
1/4" = 1'-0"



3 Building Section  
1/4" = 1'-0"

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drawing date:  
June 10, 2025

revisions:

revision	date	notes

Building Sections

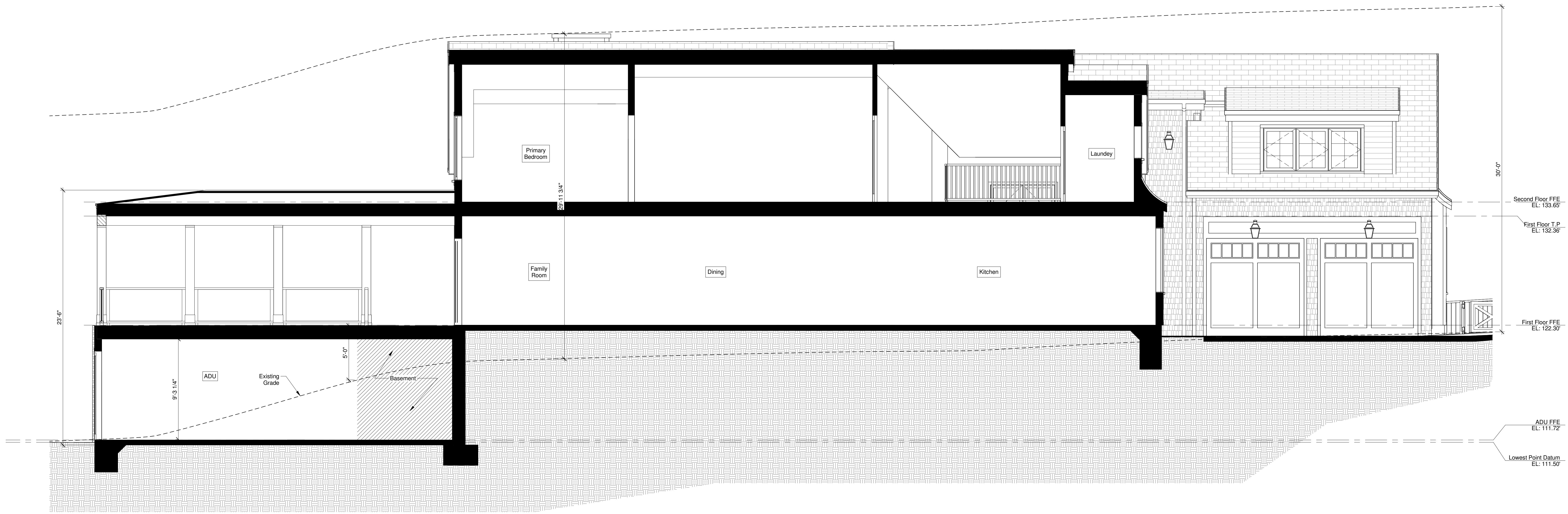
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Project:

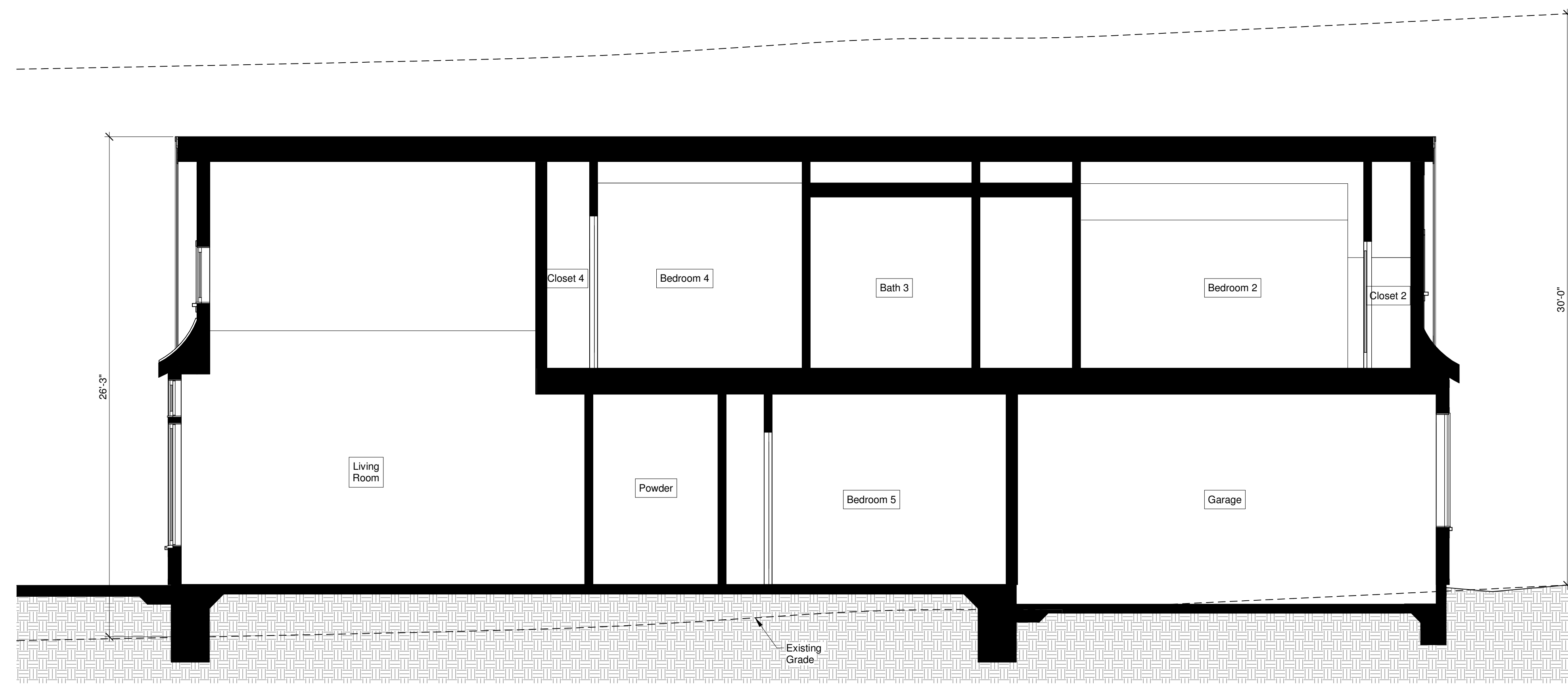
Architect:

Sheet Title:

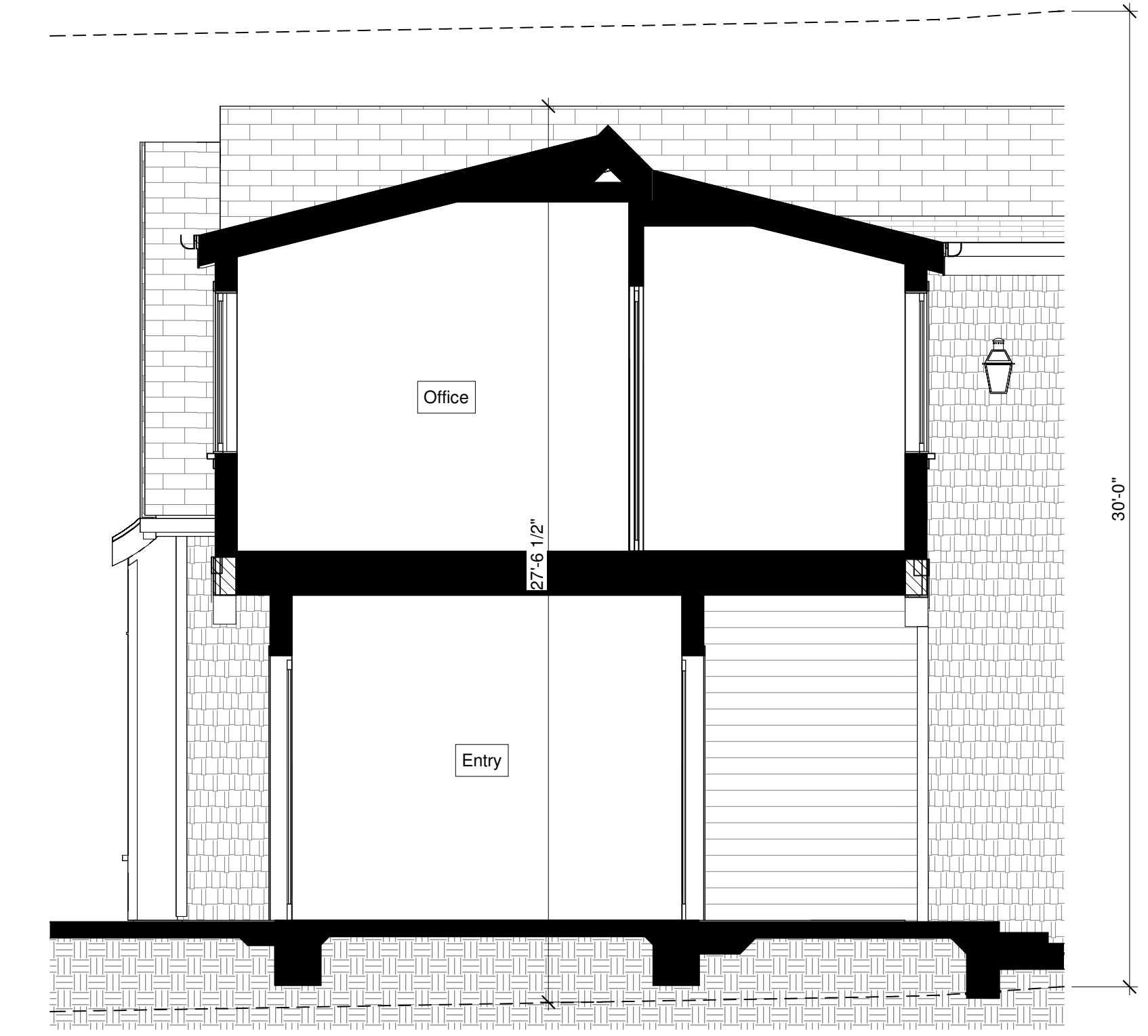
Drawing Number:



1 Building Section  
1/4" = 1'-0"



3 Building Section  
1/4" = 1'-0"



2 Building Section  
1/4" = 1'-0"

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Building Sections

A8

Project

Architect

Sheet Title

Drawing Number